



**** PUBLIC NOTICE ****

**NOTICE OF THE CITY OF CORINTH
PLANNING AND ZONING COMMISSION
REGULAR SESSION**

**MONDAY, JANUARY 25, 2021 AT 6:30 P.M.
AT CITY HALL – 3300 CORINTH PARKWAY
AND VIA WEB CONFERENCE MEETING**

**The City of Corinth is operating at Level Yellow status regarding COVID-19 and
Public Meetings are to follow CDC guidelines and Governmental Declarations.**

City Hall will be open to the public.

Information on how to access and participate in the video conference is provided below.**

AGENDA

I. CALL TO ORDER, ROLL CALL AND ANNOUNCE A QUORUM PRESENT:

A. Establish voting members and designate alternates.

II. PLEDGE OF ALLEGIANCE:

III. CONSENT AGENDA:

A. Consider and act upon approval of minutes from the Planning and Zoning Commission Meeting held on December 14, 2020.

IV. PRESENTATIONS:

A. “Director’s Report” on City Council meeting items from the preceding City Council meetings and other relevant information.

V. AGENDA:

A. The Planning and Zoning Commission will conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Meritage Homes, on behalf of the owners, Elmo M. & Darlene S. Blount, and F.F. Taylor Farms, LP, to amend the zoning classification from SF-4 Single Family Residential, SF-2 Single Family Residential, PD-5 Planned Development District for SF-3 Single Family Residential and SF-4 Single Family Residential, and PD-39 for SF-4 Single Family Residential to a Planned Development on an approximate ±82.96 acres of land, with a base zoning district of SF-4 Single Family Residential. The property is generally located north of Lake Sharon Drive, South of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. (Meritage/Ashford Park PD ZAPD20-0003)

1. Staff Presentation
2. Applicant Presentation
3. Public Hearing
4. Take Action

VI. ADJOURNMENT:

EXECUTIVE SESSION

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed session for the purpose of seeking confidential legal advice of the City Attorney on any Agenda Item listed herein.

As a majority of Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

I, the undersigned authority do hereby certify that the meeting notice was posted on the bulletin board at City Hall of the City of Corinth, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: **Friday, January 22, 2021 at 12:00 p.m.**



Helen-Eve Beadle, AICP
Director of Planning and Development Services
City of Corinth, Texas

January 22, 2021

Date of Notice

****Pursuant to Section 551.127, Texas Government Code, one or more Planning and Zoning Commissioners or employees may attend this meeting remotely using videoconferencing technology. The video and audio feed of the videoconferencing equipment can be viewed and heard by the public at the address posted above as the location of the meeting. Additionally, video and audio feed of the meeting may be accessed by visiting:**

<https://www.cityofcorinth.com/RemoteSession>

If you will not be in attendance you may submit any public hearing questions to:

miguel.inclan@cityofcorinth.com

Questions will be read aloud so that they may be answered.

Corinth City Hall is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 940-498-3200, or fax 940-498-7576 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

BRILLE IS NOT AVAILABLE



*** PUBLIC NOTICE ***

**NOTICE OF THE CITY OF CORINTH
PLANNING AND ZONING COMMISSION
SPECIAL SESSION**

**MONDAY, DECEMBER 14, 2020 AT 6:30 P.M.
AT CITY HALL – 3300 CORINTH PARKWAY
AND VIA WEB CONFERENCE MEETING**

**The City of Corinth is operating at Level Yellow status regarding COVID-19 and
Public Meetings are to follow CDC guidelines and Governmental Declarations.**

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MINUTES

I. CALL TO ORDER, ROLL CALL AND ANNOUNCE A QUORUM PRESENT:

Chair Brian Rush called the meeting to order at 6:32 p.m.

Commissioners Present: Vice-Chair Lindsey Baker, Jennifer Olive, Cody Gober, Billy Roussel III, Rodney Thornton, Wade May

Staff Present: Helen-Eve Beadle, Planning & Development Director; Michelle Mixell, Planning Manager; Julie Fort, City Attorney; Miguel Inclan, Planner

II. PLEDGE OF ALLEGIANCE:

III. CONSENT AGENDA:

A. Consider and act upon approval of minutes from the Planning and Zoning Commission Meeting held on November 16, 2020.

Vice-Chair Lindsey Baker made a motion to approve the consent agenda. Commissioner Roussel III seconded the motion.

Motion carried unanimously 5-Yes; 0-No

IV. PRESENTATIONS:

A. “Director’s Report” on City Council meeting items from the preceding City Council meetings and other relevant information.

Director Beadle informed the Commission that Brian Rush and Lindsey Baker were re-appointed to their respective positions for the next year. Regular meeting calendar will return in January. She also informed them of the upcoming State of the City address by the Mayor.

V. AGENDA:

A. The Planning & Zoning Commission will conduct a public hearing to consider testimony and make a recommendation to the City Council for an amendment to the City’s Comprehensive Master Plan “Envision Corinth” adopted by Ordinance No. 20-07-16-22, relative to removing the designation Educational Place Type from the Future Land Use Map, reassigning parcels as Institutional/Public/Civic and Mixed-Use TOD Place Types, and related amendments. (CPA20-0001: Comprehensive Plan Amendment)

1. Staff Presentation
2. Public Hearing
3. Take Action

Director Beadle presented the process that led to the adoption of the Envision Corinth Comprehensive Plan, and that there were errors that needed to be corrected.

She presented the existing and proposed Land Use and Development Strategy Map and highlighted the changes in the three parcels from Educational Place Type to Institutional/Public/Civic and Mixed-Use TOD. She stated that this amendment would align the comprehensive plan with the vision of the City of Corinth. She recommended approval of the comprehensive plan amendment.

Chris Dennis, 3308 Danbury Cove, requested clarification on the purpose of the land use changes and expressed his concerns about not enough land being available for future school growth considering the population growth that is projected by the Comprehensive Plan.

Director Beadle stated that the purpose of the amendment was to remove the Educational Place Type because it was not defined as Place Type and that two of the three parcels would go to Institutional/Public/Civic and the NCTC campus would become Mixed-Use TOD.

Vice-Chair Baker made a motion to approve the amendments to the Comprehensive Plan. Commissioner Roussel III seconded the motion.

Motion carried 5-Yes; 0-No

- B. The Planning and Zoning Commission will conduct a public hearing to consider testimony and make a recommendation to the City Council for a rezoning request by the applicant, Skorburg Company, to amend the zoning classification from I, Industrial and PD, Planned Development to PD, Planned Development with base districts of SF-4, Single Family Residential, and MF-3, Multi-Family Residential, on tracts of land totaling ±49.798 acres (approximately 36.219 acres proposed for residential use and approximately 13.579 acres proposed for multifamily residential uses), legally described as being 49.798 acres (2,169,219 square feet) of land in the J. P. Walton Survey, Abstract No. 1389, City of Corinth, Denton County, Texas; said 49.798 acres (2,169,219 square feet) of land being all of that certain tract of land described in a Special Warranty Deed to Shady Grove Lot Venture, Ltd., as recorded in Instrument Number 2019-13008, Official Public Records, Denton County, Texas (O.P.R.D.C.T.) and being all of that certain tract of land described in a Special Warranty Deed to Shady Grove Lot Venture, Ltd. (hereinafter collectively referred to as Shady Grove Lot Venture tract), as recorded in Instrument Number 2019-13009, O.P.R.D.C.T. and being all of that certain tract of land described as Lot 1, Block A, Metroplex Cabinets Addition (hereinafter referred to as Lot 1), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2011-30693, Plat Records, Denton County, Texas (P.R.D.C.T.), and being a portion of that certain tract of land described as Lot 1-R, Block A, North Central Texas College Addition No. 2 (hereinafter referred to as Lot 1-R), an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Instrument Number 2007-25053, P.R.D.C.T.; the property is generally located north of Walton Drive, south of Black Jack Lane, Sand Jack Drive, and Danbury Cove/Circle, east of North Corinth Street, and west of Shady Rest Lane. (ZAPD20-0001: Walton Ridge PD Redesign Amendment)

1. Staff Presentation
2. Applicant Presentation
3. Public Hearing
4. Take Action

Director Beadle made a brief presentation of the intended land use designations from both the current comprehensive plan and the previous comprehensive plan which identified the subject areas as Mixed-Use. She compared the request to the Envision Corinth Comprehensive Plan. She explained that this comprehensive plan has more visual elements that help communicate the vision, including the Transit Oriented District proposed for the future city center. She also showed the future trail plan and stated the applicant and Planning Manager Mixell will explain how the proposed development ties into that. She concluded her presentation with a visual of the community vision outlined for the city center in the Envision Corinth Comprehensive Plan.

Planning Manager Mixell introduced the application to the Commission. She explained the previous iteration of this development was situated in a smaller footprint than the proposed application. She compared the approved PD concept plan to the proposed concept plan which outlines the difference in total acreage between the existing PD and the proposed PD, which includes both tracts one and two.

She provided an overview of tract one, which addresses previous grading challenges, preserves trees, eliminates the incompatible industrial zoning adjacent to residentially zoned land, proposes an alternative pedestrian oriented streetscape and provides a proper transition from Mixed-Use TOD to the adjacent residential neighborhoods.

Ms. Mixell explained to the commission that a neighborhood meeting had been held previously which resulted in adjustments made by the developer to the proposed concept, including the widening of lots to 80' along the northern boundary and the addition of fencing along the entire northern boundary.

She provided a chart comparing the dimensional regulations requested by the developer for this property. She showed the proposed mews lots which protect trees on site and also a schematic of the streetscape including on-street parking. She explained the key modifications regarding the proposed zoning plan, such as permitting new trees required by landscape regulations to be planted on the 40' lots be planted instead on the mews open space; permit replacement trees to count towards "new tree" requirements for other portions of the property; and excluding replacement trees per the previous staff interpretation of the existing tree ordinance. She stated the developer will provide approximately 3 acres of deeded common open space and associated amenities and the construction of key trail segments identified by the Envision Corinth Comprehensive Plan. She showed a schematic of the open space and trail plan.

Ms. Mixell then discussed tract two of the property, which she described as a placeholder for the developer which will be revisited at a later time once the development is ready to move forward. This is a method of protecting the adjacent residential land uses from the existing industrial zoning, thus eliminating the incompatibility between industrial and residential uses. A PD amendment will be required for tract 2's Multi-Family development which would require its standalone concept plan, design standards and public hearings separate from tonight's application.

Ms. Mixell informed the commission that the proposed density is 45 dwelling units per acre, a maximum building height of four stories, formal plazas/open spaces, and parking reduction to reflect new urbanism concepts.

Ms. Mixell provided information on the public notices required by law, with the publication of the public notice on the Denton Record-Chronicle and the mailing of personal notices to surrounding property owners both occurring on November 25, 2020. She also provided the staff correspondence received by interested parties regarding this case.

Ms. Mixell stated that the proposed development is in compliance with the Comprehensive Plan and that staff recommends approval of the rezoning request.

Commissioner Gober sought clarification on the location of the proposed alleys.

Ms. Mixell pointed to the three proposed alleys in the area where the proposed 40' wide lots would be located.

Commissioner May requested clarification on the existing zoning and land use west of the site and asked if this proposed type of development was going to be what the City would be moving forward with as part of the vision of the Comprehensive Plan.

Director Beadle explained that the city was receiving a better designed neighborhood compared to the traditional suburban development.

Commissioner May asked if this would address drainage issues.

Director Beadle clarified that this is only for zoning at this time but the engineering design stage will ensure this is addressed.

John Arnold, representing the applicant, made a presentation regarding their proposed rezoning case and explained the background of the previous situations that have resulted in the expansion of the proposed subdivision to the proposed boundaries.

Mr. Arnold stated that this opportunity came available after discussions with the City and stated that they are collaborating with multiple entities such as the City, Economic Development Foundation and the NCTC to develop the multifamily tract to accomplish the vision of the comprehensive plan. He explained the reasons why the design changed from the previous iteration and that the developer was addressing concerns expressed by the adjacent property-owners during their neighborhood meeting.

Mr. Arnold provided a visual of the site issues with the original plan, such as topographic challenges, and showed the location of the original planned trail which was going to be on the front yards of homes. The original site had no centralized open space and tree groves were not considered.

Mr. Arnold also provided a comparison between the original plan and the proposed plan that included comparisons on open space, tree preservation, lot size, and overall subdivision design.

Chair Rush opened the public hearing to the public.

Chris Dennis, 3308 Danbury Cove, read aloud an email he sent to the Commissioners on December 3, 2020. He stated that he had concerns about the small lot sizes where people would have no privacy and is asking the city to change the northern lots to 100' wide. He stated that there was a spring in that area and expressed his concern about that issue.

Jeffrey Goldthorpe, 3306 Danbury Cove, stated that he moved in 2001 and had just restrained his fence. He expressed concerns about vehicles blocking the alleys. He also stated that the community would be dealing with the sights and sounds of construction and could not understand why the density.

Faye Rubbelke, 1202 Diamond Leaf Drive, echoed the comments of Mr. Dennis and Mr. Goldthorpe and stated that it looks like there is not enough room for the expected number of vehicles. She also expressed concern about the access on Shady Rest which she stated will bring traffic related problems. She requested a culdesac be built instead of an entry on Shady Rest and for traffic to exit south or west.

Stephanie Lander, 105 Shadow Lane, SHADY SHORES, expressed concerns about low-income residents moving in and the durability of the fencing along the property boundaries.

Allan Meyers, of Shady Shores, expressed concerns about density.

Christy Butler 212 Moonlit Path, SHADY SHORES echoed Lander's sentiments.

Bob Lush, 1210 Sandjack, had concerns about drainage and parking on the site.

JD Garcia, was opposed to the high density and the congestion that this development will bring the neighborhood. He also stated that his concern was access to Shady Rest. He also expressed concern of the fencing and the apartment density and issues that come from them.

Dirk Bohse, 3310 Danbury Cove, stated that the developer had done a great job but had more concerns. He asked if the HOA could restrict rentals, and stated he was worried that rentals would attract bad people. He also shared concerns about approving multifamily without knowing what would go there.

Chair Rush closed the public hearing and asked if there were any questions from the Commissions.

Commissioner May questioned the issue of the natural spring that was mentioned by some of the speakers.

John Arnold stated that there are naturally fed ponds due to the topography but that they had not seen any spring in the property.

Commissioner May stated that he has not seen a Traffic Impact Analysis for this property and that Corinth Parkway and surrounding roads was extremely minimal compared to their full capability.

Director Beadle stated that assumption was correct.

Commissioner May stated that he lived near the proposed area and that there were speed bumps along Shady Rest due to speeding concerns but the traffic studies confirmed it can tolerate more traffic than it currently has. He asked the developer to confirm the parking configuration of the lots.

Mr. Arnold stated that on-street parking would be aimed at guests and that each house will have a garage and a driveway.

Commissioner May also asked the developer for a price point.

Mr. Arnold provided visuals of the products they are proposing to build on this site. He also presented a chart of price ranges for the homes proposed to be on the property, with the smaller homes in 40' lots starting at \$340,000 and the larger homes in 80' lots starting at \$500,000.

Chair Rush asked if there was a specific demography intended for the smaller lot homes.

Mr. Arnold stated that the city center would attract younger people who would want to buy their first home and hop on the light rail either towards Denton or Dallas as well as use the amenities the city center will offer.

Vice-Chair Baker stated that this was a positive development and assured residents that this is something rarely seen from developers.

*Vice-Chair Baker made a motion to recommend approval of the zone change to the City Council.
Chair Brian Rush seconded the motion.*

Commissioner May raised a concern about the lack of information on the multifamily part of the proposed plan.

Vice-Chair Baker echoed the sentiment.

Director Beadle stated that because there are too many moving parts, it is necessary to make things happen, and the Commission would see the multifamily development when it is time.

Commissioner Gober asked if denial would kill the contracts.

Director Beadle answered in the affirmative.

Motion carried 5-Yes; 0-No.

VI. ADJOURNMENT: 8:34 pm

There being no business before the Commission, the meeting was adjourned at 8:34 p.m.

MINUTES APPROVED THIS _____ DAY OF _____, 2020.

Brian Rush, Planning and Zoning Commission Chairman

Helen-Eve Beadle, Director of Planning and Development



Memorandum

To: **The Corinth Planning and Zoning Commission**
From: Helen-Eve Liebman, AICP, Planning and Development Director
Meeting Date: January 25, 2021
Re: Planning & Development Director's Report

THE FOLLOWING ITEMS WERE CONSIDERED AT THE DECEMBER 17TH CITY COUNCIL MEETING:

Walton Ridge PD Amendment Zoning – The City Council approved the PD Amendment at their December 17th meeting.

THE FOLLOWING ITEMS ARE GENERAL ANNOUNCEMENTS:

The **Annual Board and Commissioner Banquet** has been postponed and may occur in August or September.

The **State of the City** meeting has been cancelled.

Agora Park meetings will occur as follows:

Town Hall (in person & online)

February 20th @ 9:00 AM (Saturday)

Town Hall (online)

February 23rd @ 6:00 PM (Tuesday)

Joint P&Z, Council, EDC & Parks Board (in person & online)

March 2nd @ 6:00 PM (Tuesday)

Memorandum

To: **The Corinth Planning and Zoning Commission**
From: Michelle L. Mixell, AICP, Planning and Development Manager
Meeting Date: January 25, 2021
Re: Meritage/Ashford Park Single-Family Detached - PD, Planned Development Rezoning (#ZAPD20-0003)

ACTION REQUESTED:

Conduct a Public Hearing to consider testimony and make a recommendation to City Council on a rezoning request by the Applicant, Meritage Homes, on behalf of the owners, Elmo M. & Darlene S. Blount, and F.F. Taylor Farms, LP, to amend the zoning classification from SF-4 Single Family Residential, SF-2 Single Family Residential, PD-5 Planned Development District for SF-3 Single Family Residential and SF-4 Single Family Residential, and PD-39 for SF-4 Single Family Residential to a Planned Development on an approximate ± 82.96 acres of land, with a base zoning district of SF-4 Single Family Residential, generally located north of Lake Sharon Drive, South of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. (Meritage/Ashford Park PD ZAPD20-0003).

BACKGROUND INFORMATION:

The Applicant is requesting approval of a PD, Planned Development rezoning for the future development of ± 82.96 acres located on the north side of Lake Sharon Drive (at the intersection of Parkridge Drive) for the construction of 458 single family detached dwelling units consisting of 250 Patio Home Lots and 208 Cottage Lots, a portion of which, front directly onto common open space (See Attachment 1 – Concept Plan and Attachment 4 - Cottage Lot Details).

The development will also include the extension of Parkridge Drive from its current terminus on the southside of Lake Sharon through the property to the northern property boundary as well as the construction of a roundabout at the intersection of Lake Sharon and Parkridge Drive. The plan is for the Developer to construct Parkridge Drive extension as well as construct roundabout improvements. The City will offset the roadway impact fees for the construction of 1/3 of the road and 100% for the construction of the roundabout. The remainder of the cost for the roundabout will be paid by the City to the developer upon construction. These roadway improvements are shown on the “Master Thoroughfare Plan” as part of the Envision Corinth 2040 Comprehensive Plan (adopted July 2020).

In terms open space, the applicant is proposing several passive open space pockets which are located throughout the plan totaling approximately ± 11.82 acres. A key feature is a linear swath of open space which will serve as a central feature along Parkridge Drive including ± 1.7 acres supporting an activity center (swimming pool, restrooms, playground, and an open play area), and the preservation of an existing grove of mature trees. Additionally, the design includes common open space lots preserving three existing groves of mature trees along Street D (See Attachment 1 – Concept Plan and as further detailed in Attachments 2 and 3, Conceptual Screening and Buffering and Site Inventory Analysis, respectively).

KEY POINTS FOR CONSIDERATION:

The following points represent specific departures from the regulations outlined in Unified Development Code (UDC) which will permit the unique design as presented in Attachment 1 - Ashford Park Concept Plan and other associated attachments as presented in “Supporting Documentation” contained in Appendix A. Additionally, each modification presented contains a “justification” statement for the departure.

A. Existing Zoning Standards “SF-4” and Proposed Dimensional Modified Standards:

UDC Section 2.08 – Dimensional Regulations shall be modified from the base zoning district of SF-4 to allow for two lot types, “Cottage Home” lots and “Patio Home” as defined in **Table A**, below.

Table A – Dimensional Requirements

	SF-4 (Base Zoning)	Proposed Modified Standards	
		Patio Home Lots	Cottage Home Lots
Minimum Front Yard Setback	25'	20'	5'
Minimum Side Yard Setback on Interior Lots ⁽¹⁾	5'	5'	0'/6' ⁽²⁾
Minimum Side Yard Setback on Corner Lots ⁽³⁾	15'	15'	15' Streets/5' Alleys
Minimum Rear Yard Setback	20'	20'	20'
Minimum Garage Setback	25'	20' ⁽⁴⁾	20'
Minimum Lot Area	7,500 sq. ft.	5,500 sq. ft.	2,700 sq. ft.
Maximum Density		See Footnote #5	
Minimum Lot Width at Platted Building Line	70'	50'	30'
Minimum Lot Depth	100'	110'	90'
Minimum Floor Area	1,500 sq. ft.	1,800 sq. ft.	1,600 sq. ft.
Maximum Building Area Coverage ⁽⁶⁾	30%	55%	65%

- (1) Air conditioning units may be installed within side yard setback.
- (2) One side may have a minimum 0’ side yard setback (zero lot line) while the other side shall have a minimum 6’ side yard setback. A minimum of 6’ shall separate all buildings. Eaves may overhang a neighboring lot line by up to 18 inches on zero lot line side.
- (3) Corner key lots shall have a side yard setback on the street side equal to the front yard setback.
- (4) Section 2.09.03.B.3.b. of the UDC shall be modified to allow a minimum 20’ garage setback, provided that the garage is in line or setback from the front façade.
- (5) The total number of single-family lots shall not exceed 458 units. The maximum number of Cottage Homes is 220 units. The maximum number of Patio Homes varies based on the actual number of Cottage Homes such that the 458 total units is not exceeded. The location of cottage homes may not be along the property boundary, except along the eastern property boundary adjacent to the existing multi-family development and townhouse tract.
- (6) Exclusive of sidewalks, driveways, and accessory structures

Justification: This departure from the base district is necessary to provide a variety of lot types within the community and achieve an overall density generally in line with the goals of the City’s current Comprehensive Plan.

B. Other Modifications and Design Criteria:

1. **Landscaping Regulations.** UDC Section 2.09.01.2.B.(a)(1) **Landscaping Regulations for Attached and Detached Single Family Developments** shall apply, except that, a modification to specifically permit the landscaping tree planting calculations as required for the 30' Cottage Lots to be planted within the Mews open space lots along Parkridge Drive and around the perimeter open space detention areas, subject to the following conditions:

- a. Tree caliper inches required by this section (Section 2.09.01.2.B.(a)(1)) for front yard tree plantings within the 30' Cottage lots will be permitted to be planted within the Mews Open Space Lots along Parkridge Drive (Street J) and around the perimeter of open space detention area and not required to be located within the front yards of 30' Cottage lots. Required trees may also be satisfied by planting in the rear yard when practical.

Justification: This departure is necessary to due to the size of Cottage Homes and having the necessary space to plant the required trees.

2. **Tree Preservation and Removal.** UDC Section 2.09.02 Tree Preservation Regulations shall apply, except that a modification to specifically permit the following credits to be applied, subject to the following conditions:

- a. Protected Trees shall be preserved and shall be identified in the Tree Survey and Protection Plan as part of an Alternative Compliance Application (reviewed and approved by City Council) at or prior to time of Preliminary Plat application based on the existing treed areas to remain as shown in Attachment 1- Concept Plan and Attachment 2 - Conceptual Screening and Buffering plan.
- b. The existing groves of Protected Trees as located within the Homeowners' Association open space lots (*as shown in green with notations indicating existing trees to remain*) along the north side of Street D and at the southern end of Blocks D, E, and F, as well as the existing grove of Protected Trees being saved and within the Activity Center.
- c. A detailed accounting of the Protected Trees shall be identified in the Tree Survey and Protection Plan as part of an Alternative Compliance Application at or prior to time of Preliminary Plat application.
- d. Protected Trees preserved on site shall be maintained and replaced in kind by the Homeowners' Association in the event of removal, destruction, decline, or death as provided for in the restrictive covenants. The detail of such maintenance obligation shall be set forth in the restrictive covenants and shall be recorded prior to recording of the Final Plat.
- e. The following credits shall be offered for Tree Preservation when a minimum of 15% of total caliper inches of protected trees on site are preserved in deeded open space lots that shall remain in perpetuity and cared for by the Homeowner's Association. In such instances the following credits may be applied:
 - i. **Saved Tree Base Credit** offered at a rate of 1:1 (1 inch for every 1 inch preserved) when a minimum of 15% of the total caliper inches on site are saved.
 - ii. **Bonus Grove/Habitat Preservation Credit** of 10% may be added to the "Saved Tree Base Credit" offered when protected trees saved are preserved in substantial "groves" and that provide wildlife habitat.
 - iii. **Sliding Scale Credit** (3:1, 2:1 and 0.5:1 based on the size of tree/type of tree preserved as noted below:
 - a) Healthy post oak trees preserved, 6 caliper inches and larger, shall receive a credit at a rate of 3:1 (3 inches for every 1 inch preserved)

- b) All other healthy preserved protected trees, 6 caliper inches and larger, shall receive a credit at a rate of 2:1 (2 inches for every 1 inch preserved)
- c) All preserved trees not considered as protected, 6 caliper inches and larger, shall receive a credit at a rate of 0.5:1 (0.5 inch for every 1 inch preserved)
- iv. **Right-of-Way (ROW) Credit** – A ROW credit may be offered provided in direct relationship to the caliper inches of protected trees saved on site. This credit will increase in direct proportion to the number of caliper inches saved on site (base credit).
- v. **Landscape Credit** - Offered to permit the caliper inches as required by Section 2.09.01.2.B.(a) (1) to be satisfied by the planting of replacement trees (shade trees only) as required under UDC Section 2.09.02. Alternative Compliance – Tree Preservation, thereby reducing the required caliper inches for replacement trees in direct proportion to tree caliper inches required in Landscaping Requirements (Section 2.09.01.2.B.(a) (1)) for the portion of the tract designated with 30’ lot widths only. This provision will be reviewed and finalized at the time of Alternative Compliance-Tree Preservation Application as presented in a Tree Protection Plan detailing proposed replacement of protected trees removed on site.

Table B – Preliminary Estimate of Tree Preservation Credits Applied (subject to refinement at time of Alternative Compliance Application)

SUMMARY	CALIPER INCHES	PERCENT
TOTAL TREE CI	19872.2	100%
REMOVED TREE CI	16860.9	85%
SAVED TREE CI	3011.3	15%
PRESERVATION CREDITS		
BASE 1:1 CREDIT	3011.1	15%
BONUS –GROVE/HABITAT PRESERVATION CREDIT - ADD 10% BASE CREDIT	4968.05	25% 25% (includes the 15% Base 1:1 credit for a total of 25%)
SLIDING SCALE CREDIT – 3:1, 2:1 & 1:1 based on size of trees/type preserved	8747.7	Multiplier of 2.93
LANDSCAPE CREDITS		
LANDSCAPE CREDITS – MEWS LOTS & OPEN SPACE PLANTINGS	1996	
ROW CREDITS		
ROW CREDIT – BASED ON 15% OF SAVED TREES (minimum to receive credit) <small>Note - This percent will increase at the same rate that the number of CI saved on the site increases</small>	540	15% Credit is based on CI Removed from ROW only
TENTATIVE CREDIT - SUMMARY	Total:	Fee: \$150.00
Subtotal CI Credits:	16251.75	
Total CI Removed:	16860.90	
CI Required to Mitigate:	609.15	\$91,372

Justification: Staff is currently in the process of updating the Tree Preservation Ordinance to address past inconsistencies and to promote the preservation of existing mature trees and habit and has been working with City Council over the past three months. Past practice and interpretation of the Tree Preservation has resulted in clear cutting of sites. The intent of offering “credits” is to entice and reward the development community for the preservation of Protected Trees as well as important habitat as part of site design. Note that Staff does not support the language outlined in Attachment 7- PD List of Departures regarding Item 8. a) and b); the City will require an Alternative Compliance Application which will document the Tree Preservation, Removal and Replacement on site.

3. **Park and Trail Land Dedication.** UDC Section 3.05.10 requires that Park and Trail dedication for Residentially Zoned Property to be considered and approved by City Council prior to the submission of Preliminary Plat. Because this PD identifies specific land area to be deeded as part of the Homeowners’

Association Common Open Space lots, the approval for such has been incorporated into the overall PD approval process as outlined in the table below and with relevant conditions noted. Staff recommends that the Park and Trail dedication requirements be considered “satisfied” as required by UDC Section 3.05.10 Park and Trail Dedications for Residentially Zoned Property provided the following conditions met:

- a. Homeowner’s Association Open Space areas shall be provided as shown in Attachment 1 - Concept Plan and Attachment 2 - Conceptual Screening and Buffering plan. A minimum of 9.16 acres park and/or trail land is required at a rate of 1 acre per 50 dwelling units by Section 3.05.10 based on the number of dwelling units proposed (458 dwelling units).
- b. Specifically, the plan shows a total of 11.82 acres of common open space land broken out as follows:
 - i. 4.32 acres designated for detention basins (*for stormwater management purposes*)
 - ii. 7.5 acres being comprised of a combination of linear open spaces, trails, an Activity Center lot (including the construction of amenities (See Attachment 2, Sheet 4 of 4) which include a playground, swimming pool, restroom facility, trails, parking, and the preservation of the existing tree grove), and three open space lots set aside to as passive recreation to preserve the existing groves of protected trees and associated habitat.
- c. To fully meet the park and trail land requirement, Staff is recommending the following:
 - i. Inclusion of the two detention basin areas (totaling 4.3 acres) shown in at the eastern end of Block O and the northern portion of Block N have been included in the overall open space calculations provided that they are designed based on the following criteria:
 - a) Wet detention areas shall be amenitized to include a 6’ meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate of 1 tree per every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.
 - b) Dry detention areas shall be amenitized to include a 6’ meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate of 1 tree per every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. Further, a minimum of 25% of the pond perimeter shall have a 10:1 side slope with the remaining area not to exceed a maximum side slope of 4:1. The flat bottom of the basin shall be kept manicured, maintained, and in a condition that will not promote standing water, and be of a sufficient size to accommodate active play space no less than ¼ acre (10,000 sf) in area. Alternative perimeter side slopes may be considered by the City at the time of preliminary plat based on best engineering practices and safety.
 - ii. Protected Tree groves as shown along Street D and at the southern end of Block D, Block E, and Block F shall be perpetually preserved as natural open space areas. No trees shall be removed unless determined to be a hazard by a Certified Arborist and replaced in kind at a 1:1 ratio per caliper inches removed. Such protections and limitations on any future development shall be further defined and documented the HOA restrictive covenants.
 - iii. The developer shall construct a 10-wide concrete trail along Lake Sharon Drive in accordance with ADA standards. A pedestrian public access easement shall be provided

- should the final design of the trail may meander outside of the public right-of-way and into the required 20' landscaped buffer edge.
- iv. The developer shall construct an 8-wide concrete trail along Parkridge Drive (extension) or Street J, in accordance with ADA standards. A pedestrian public access easement shall be provided should the final design of the trail may meander outside of the public right-of-way and into the required 20' landscaped buffer edge.
 - v. Trails, sidewalks, and amenities located within the common open space shall be maintained and replaced in kind in the event to removal, disrepair, and/or destruction as provided for the restrictive covenants. The detail of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat.
 - vi. Required landscape plantings and locations of required amenities will be further defined at time of Landscape Plan submission.
 - vii. All common open space lots shall be owned and maintained by the Homeowners' Association.

Justification: Considering the total common open space acreage as proposed, including the preservation of several large pockets of tree groves, and the amenities being provided as part of the Activity Center and the detention basin improvement, it is Staff's opinion the design as propose meets the spirit and intent of Section 3.05.10.

4. **On-Street Parking – Parkridge Drive.** UDC Section 3.05.13 Street Design Criteria shall apply, except that a modification to specifically permit on-street parking along a section of Parkridge Drive, subject to the following conditions:
 - a. Provide a variable right-of-way width along Parkridge Drive from 60' to 70' to in the limited section with the on-street parallel parking located outside of the 36' wide travel lane (two 18' wide travel lanes)
 - b. On-Street parallel parking section would be generally limited to the straight section of Parkridge and be a maximum of 20 spaces (10 on each side of Parkridge Drive)
 - i. Parking space area: 22' length x 8' width with 0.5' for curb (22'x 8.5')
 - ii. Maximum of 5 spaces located in tandem with a bulb-out designated for shade tree (10' in length x 8' (generally) in width)
 - c. Sidewalk (east side) and trail (west side) of Parkridge Drive would be located at back of curb within the length of the section of with on-street parking.

Justification: The Applicant is currently not showing parking along Parkridge Drive. Staff is recommending that 20 on-street parking spaces (10 spaces on each side of Parkridge Drive (Street J)) be provided in order to provide added parking options for the Cottage Lots fronting onto the Mews Open Space. The applicant provides their rationale for not providing additional parking in *Attachment 5 – Cottage Lot Parking*.

5. **Alleys.** UDC Section 3.05.05 - Alleys apply except that shall be modified to add provisions for a Mews Alley section. Mews alleys shall be provided where "Cottage Home" lots front onto open spaces and fire access to such lots is provided from the alley. Mews alleys shall have a 30' right-of-way with a minimum 24' edge to edge concrete paving.

Justification: This departure is necessary to provide a lot type that fronts to open space creating an opportunity for a unique streetscape along the extension of Parkridge Drive.

6. **Fencing.** UDC Sections UDC Section 4.02.10.B and 4.02.11.E shall be modified to allow the following:
- a. Where residential lots side to Parkridge Drive, the Developer shall be allowed to construct a 6' high board on board fence with masonry columns spaced every other lot corner and at fence ends to satisfy screening requirements. The columns at fence ends shall be placed at most 25' back from the front building line. Further, where residential lots side to Parkridge Drive, no fence shall be erected in front of the screening fence column as described above.
 - b. All Mews Cottage Home lots (those that front onto an open space) facing Parkridge Drive shall not be required to provide screening along the front of said lots.

Justification: These departures are necessary to create a unique streetscape of connected open space along the extension of Parkridge Drive and to ensure the private home fencing does not extend out in front of the screening fence/columns along Parkridge Drive.

- C. **Phasing.** The property is proposed to be developed in four (4) phases (*See Attachment 1 – Concept Plan*). Staff recognizes that at the time of Preliminary Plat adjustments to phase lines may be necessary to accommodate construction. That being said, in terms of overall open space acreage (*where open space areas as proposed were used to offer Tree Preservation credits and satisfy required Park and Trail land dedication*), the open space on the development shall not be reduced below the minimum of 11.82 acres (14% of total acres) as currently shown on Attachment 1 - Concept Plan. Further, no more than 15% of the required open space may be reduced within a given phase unless being added to an earlier phase and the overall acreage is still maintained or exceeded.

Finally, regarding the timing of the landscape edge buffer installation along Parkridge Drive (Street J), the Applicant shall provide landscape buffer improvements at the time of each phase with the exception of the Blount Property (Phase 4) and the west side of Parkridge Drive from the round-about up to the Amenity Center (Block N (Phase 2)). For the areas specified above, the landscape edge buffer shall be installed at the time of construction for Parkridge Drive extension.

SUPPORTING DOCUMENTS:

The following “attachments” from the Applicant’s submittal package have been included for your reference.

- 1. CONCEPT PLAN
- 2. CONCEPTUAL SCREENING AND BUFFERING (4 sheets)
- 3. SITE INVENTORY ANALYSIS
- 4. COTTAGE LOT DETAILS
- 5. COTTAGE LOT STREET PARKING
- 6. PD DESIGN STATEMENT (7 pages)
- 7. LIST OF DEPARTURES REQUESTED (8 pages)

NEIGHBORHOOD MEETING:

On January 6, 2021, the developer, Meritage Homes, conducted a neighborhood meeting at City Hall to seek input and receive concerns from surrounding property owners. No property owners attended.

COMPLIANCE WITH THE COMPREHENSIVE PLAN:

The rezoning request for the subject property, as presented, is in accordance with the “Land Use and Development Strategy” designations, Mixed-Residential, set forth in the "Envision Corinth 2040" Comprehensive Plan.

PUBLIC NOTICES:

Notice of the public hearing was published in the January 9, 2021 edition of the Denton Record-Chronicle. Written public notices were mailed to all property owners located within 200' of the subject property proposed for the zoning change on January 8, 2021.

At the time of packet preparation, we have received two letters of opposition and one letter in support of the zoning change.

STAFF RECOMMENDATION:

Staff recommends approval as presented and detailed in this Staff Memo dated January 22, 2021.



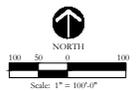
- CALLOUTS LEGEND:**
- 6'0" HT. BRICK SCREENING WALL WITH 7'0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS, BY DEVELOPER.
 - 6'0" HT. BOARD ON BOARD WOOD FENCE WITH 7'0" HT. STONE COLUMNS SPACED EVERY OTHER LOT CORNER AND AT WALL ENDS, BY DEVELOPER.
 - MAIN ENTRY SIGN MONUMENT.
 - SECONDARY ENTRY SIGN MONUMENT.
 - 5'0" WIDTH CONCRETE SIDEWALK.
 - MEANDERING 6'0" WIDTH CONCRETE TRAIL.
 - MEANDERING 8'0" WIDTH CONCRETE TRAIL.
 - 10'0" WIDTH CONCRETE TRAIL.
 - HOA COMMON AREA LOTS
 - PROPOSED AMENITY CENTER SITE.
 - PROPOSED RETENTION POND
 - POND FOUNTAIN
 - ENHANCED LANDSCAPE POCKETS TO INCLUDE (1) BENCH, DECORATIVE LIGHTING AND HALF CIRCLE OF LANDSCAPE PLANTINGS BEHIND BENCH.
 - 3" CALIPER SHADE TREE, SPECIES TBD.
 - 3" CALIPER EVERGREEN TREE/LIVE SCREEN, SPECIES TBD.
 - 2" CALIPER ORN. TREE, SPECIES TBD.

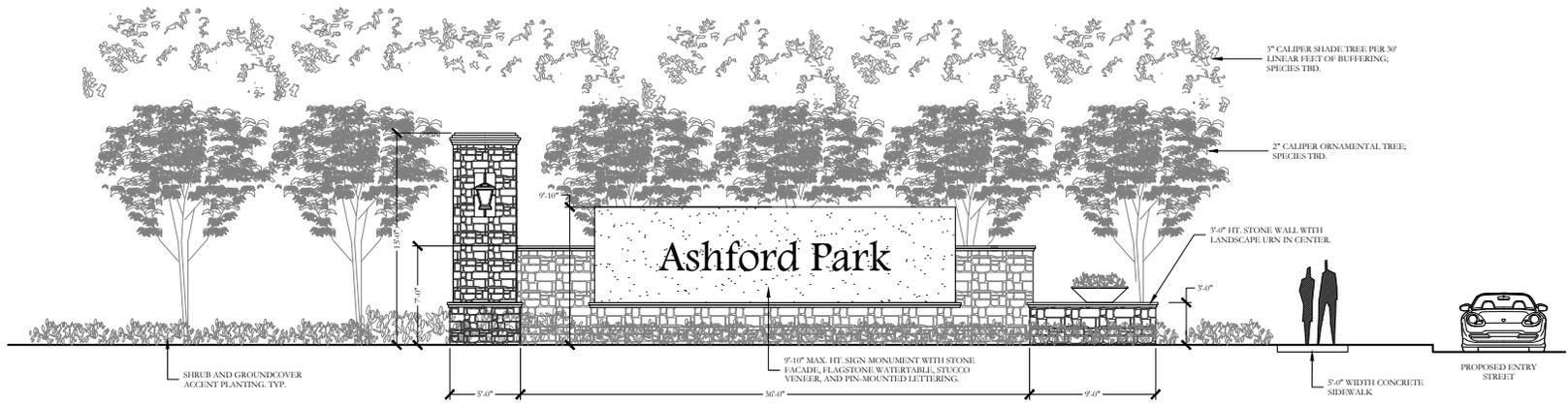
- LANDSCAPE PROVIDED:**
- LAKE SHARON DRIVE**
- A. 1- 3" CAL. SHADE TREE / 30 LF OF SCREEN WALL 2,600 LF / 30 LF = 86.6- 3" CAL. SHADE TREES REQUIRED PROVIDED: 93 - 3" CAL. SHADE TREE.
- STREET J**
- A. 1- 3" CAL. SHADE TREE / 30 LF OF WOOD FENCE ALONG STREET FRONTAGE. 1,125 LF / 30 LF = 37.5- 3" CAL. SHADE TREES REQUIRED PROVIDED: 39 - 3" CAL. SHADE TREE.
- RETENTION POND**
- A. 1- 3" CAL. SHADE TREE / 30 LF OF 6'0" CONCRETE TRAIL. 1- 2" CAL. ORN. TREE / 2- 3" CAL. SHADE TREE REQUIRED. 1,600 LF / 30 LF = 53.4- 3" CAL. SHADE TREES REQUIRED. 54 SHADE TREES / 2 = 27- 2" CAL. ORN. TREE REQUIRED PROVIDED: 24 - 3" CAL. SHADE TREES AND 27 - 2" ORNAMENTAL TREES
- DETECTION POND**
- A. 1- 3" CAL. SHADE TREE / 30 LF OF 6'0" CONCRETE TRAIL. 1- 2" CAL. ORN. TREE / 2- 3" CAL. SHADE TREE REQUIRED. 1,020 LF / 30 LF = 34- 3" CAL. SHADE TREES REQUIRED. 34 SHADE TREES / 2 = 17- 2" CAL. ORN. TREE REQUIRED PROVIDED: 34 - 3" CAL. SHADE TREES AND 17 - 2" ORNAMENTAL TREES

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

ASHFORD PARK / CONCEPTUAL SCREENING AND BUFFERING

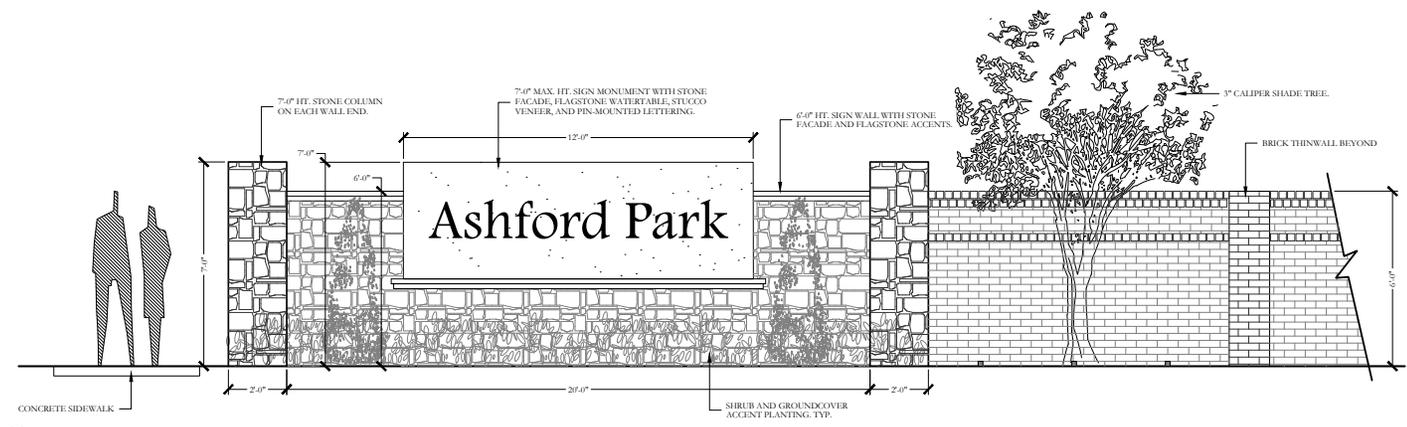
City of Corinth, Denton County, Texas





1 VARIABLE HEIGHT MAIN ENTRY SIGN MONUMENT ELEVATION

SCALE: 1/4" = 1'-0"



2 SECONDARY ENTRY SIGN MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"

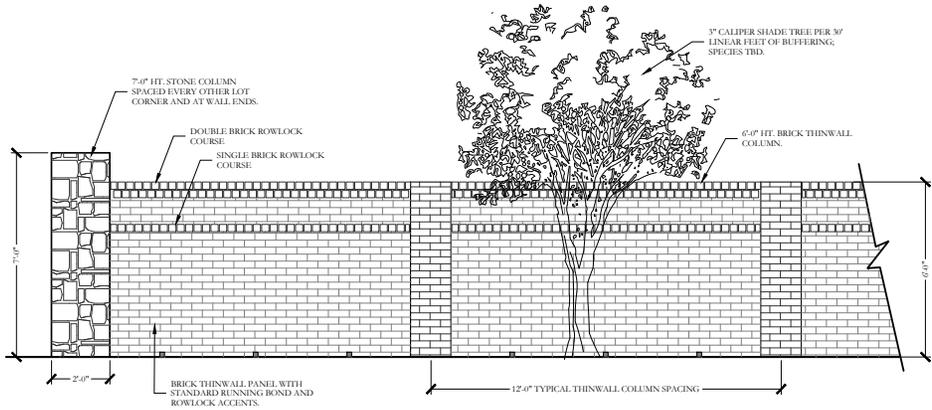
NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

ASHFORD PARK / CONCEPTUAL SCREENING AND BUFFERING

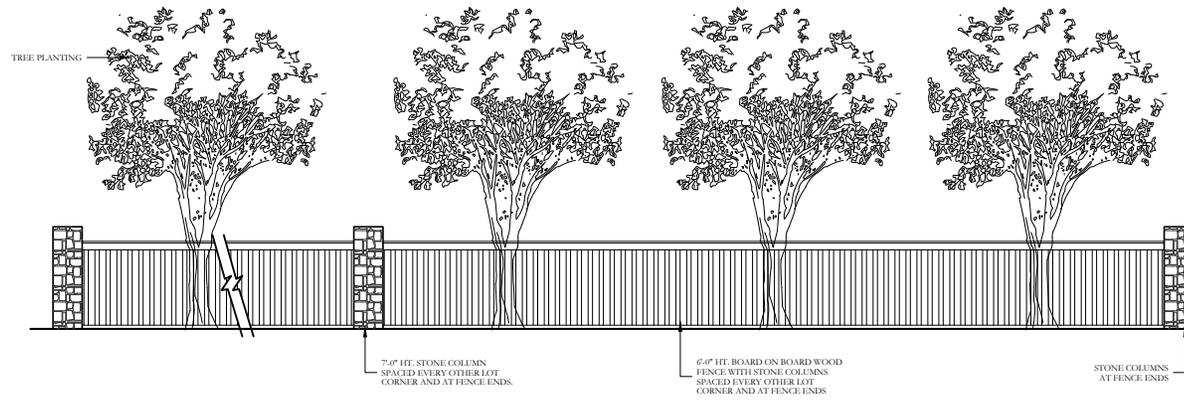
City of Corinth, Denton County, Texas

SHEET 2 OF 4
City Submittal 01-26-2021

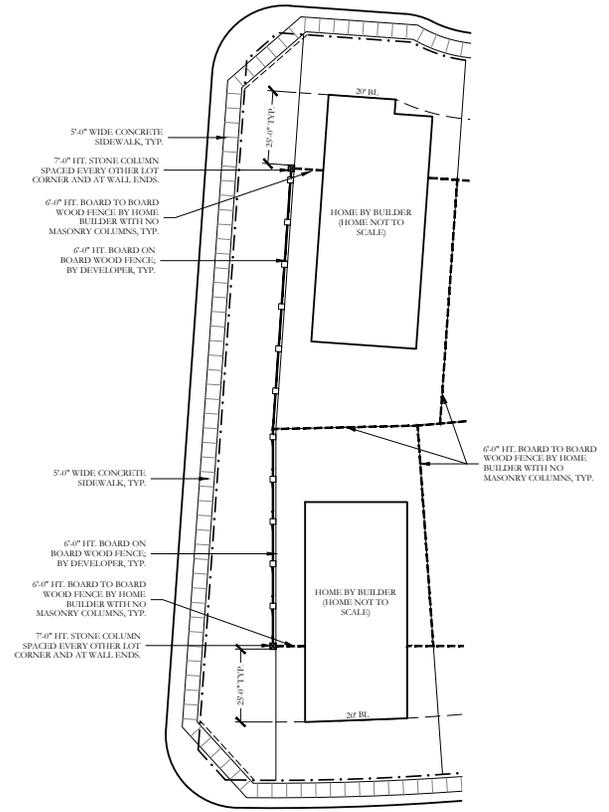




1 6'-0" HT. BRICK SCREENING WALL WITH 7'-0" HT. MASONRY COLUMNS ELEVATION SCALE: 1/2" = 1'-0"



2 6'-0" HT. BOARD ON BOARD FENCE WITH 7'-0" HT. MASONRY COLUMNS ELEVATION SCALE: 1/4" = 1'-0"



3 TYPICAL PRIVATE FENCE LAYOUT PLAN SCALE: 1" = 20'-0"

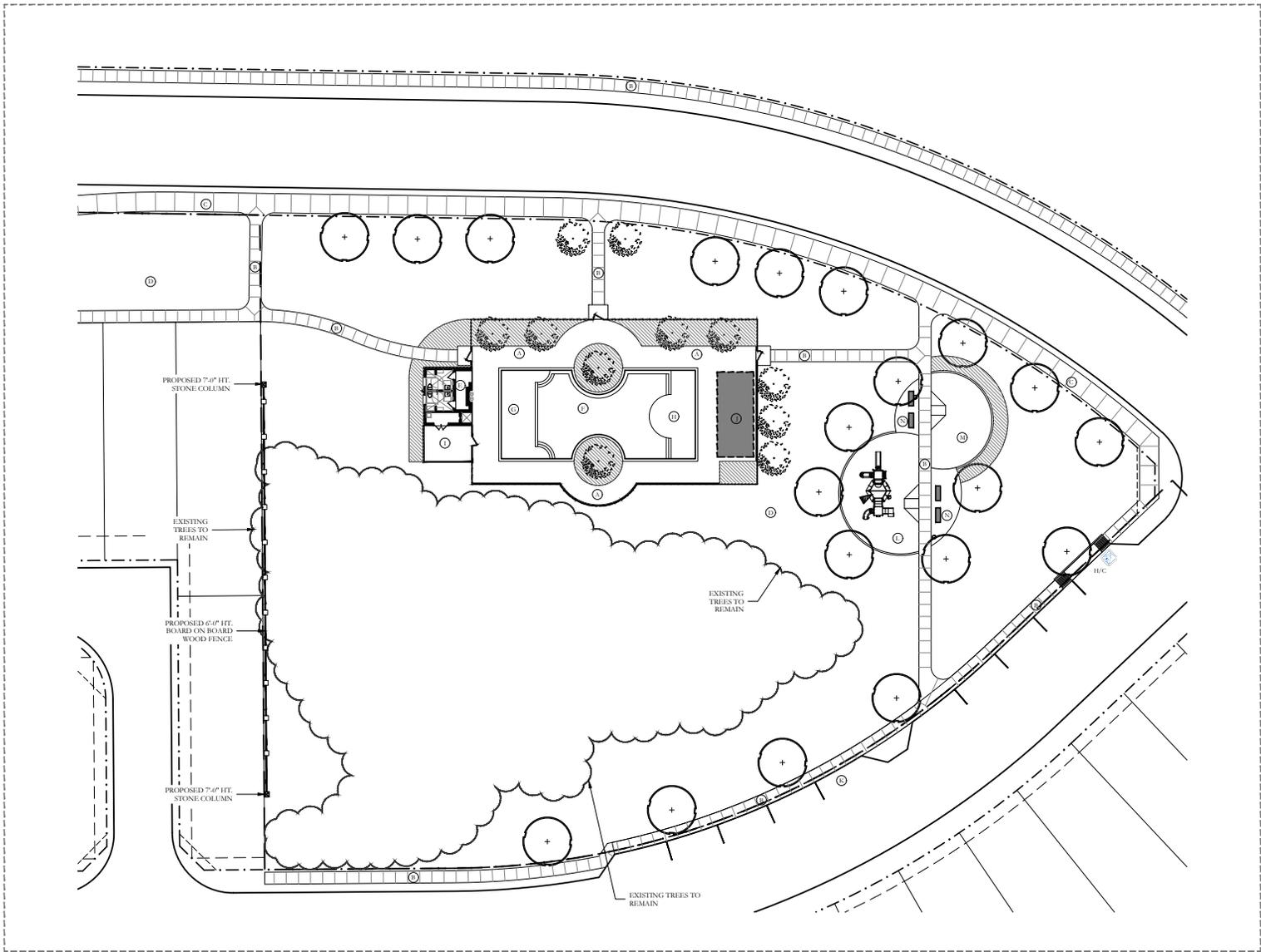
NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

ASHFORD PARK / CONCEPTUAL SCREENING AND BUFFERING

City of Corinth, Denton County, Texas



SHEET 3 OF 4
City Submittal 01-26-2021



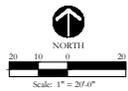
CALLOUTS LEGEND:

⊙	CONCRETE POOL DECK	⊕	3" CALIPER SHADE TREE; SPECIES TBD.
⊖	5'-0" CONCRETE SIDEWALK	⊗	2" CALIPER ORNAMENTAL TREE; SPECIES TBD.
⊕	8'-0" CONCRETE TRAIL	▨	FEATURE LANDSCAPE BED. FEATURE LANDSCAPE BEDS MAY INCLUDE RIVER ROCK AND BOULDER MASSES.
⊖	OPEN PLAY AREA		
⊕	RESTROOM FACILITY		
⊖	SWIMMING POOL		
⊕	CHILDREN'S POOL AREA		
⊖	TANNING LEDGE		
⊕	POOL EQUIPMENT ENCLOSURE		
⊖	CEDAR SHADE STRUCTURE		
⊕	PROPOSED PARALLEL PARKING (10 PARKING STALLS)		
⊖	PLAYGROUND		
⊕	TOT LOT PLAY AREA		
⊖	BENCH AND TRASH RECEPTACLE		

NOTE: ALL PLANS SHOWN HEREIN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. THE AMENITY CENTER SITE LOCATION IS SUBJECT TO CHANGE.

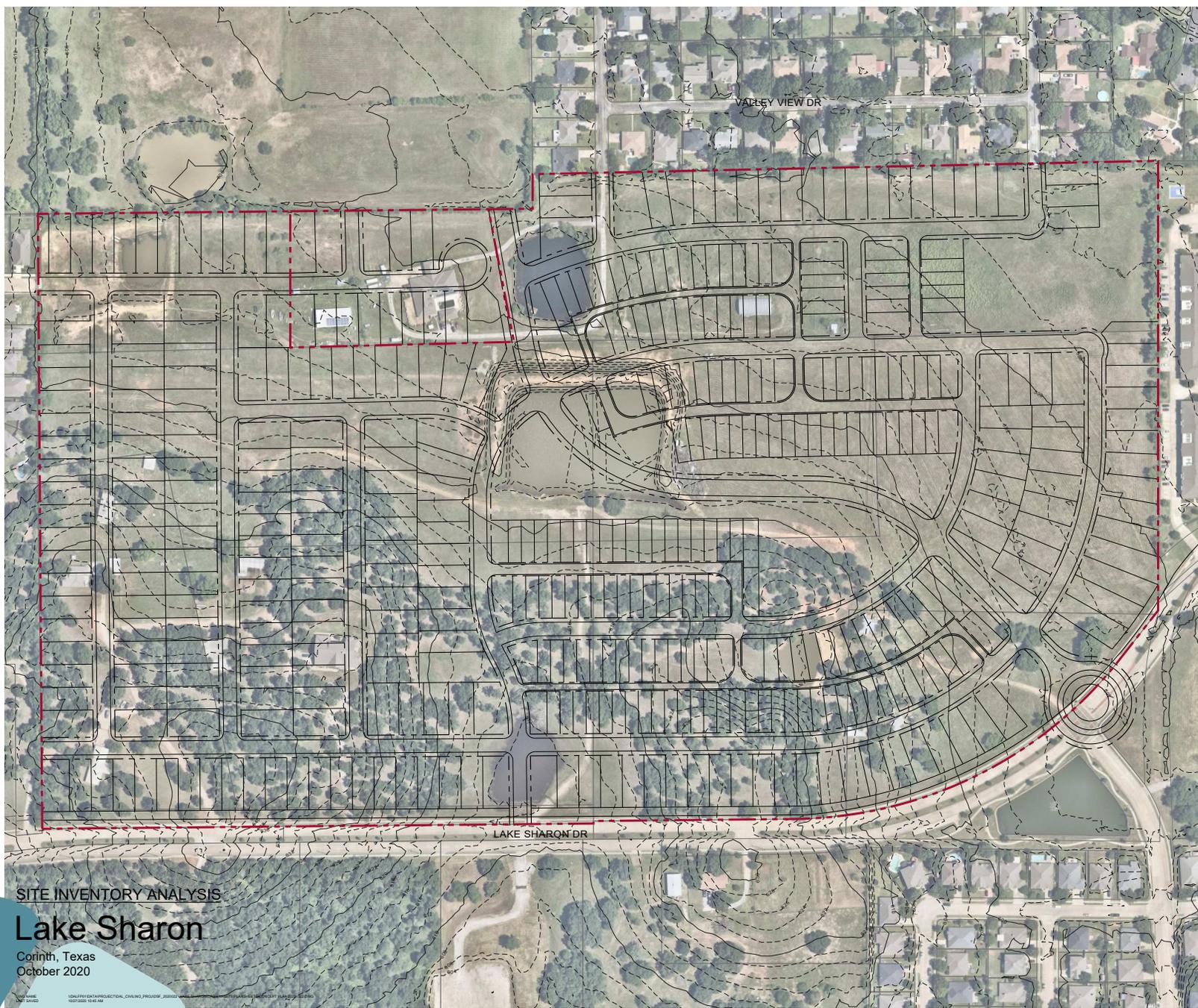
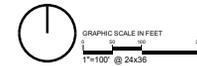
ASHFORD PARK / CONCEPTUAL AMENITY CENTER

City of Corinth, Denton County, Texas



SHEET 4 OF 4
City Submittal 01-20-2021





SITE INVENTORY ANALYSIS

Lake Sharon

Corinth, Texas
October 2020

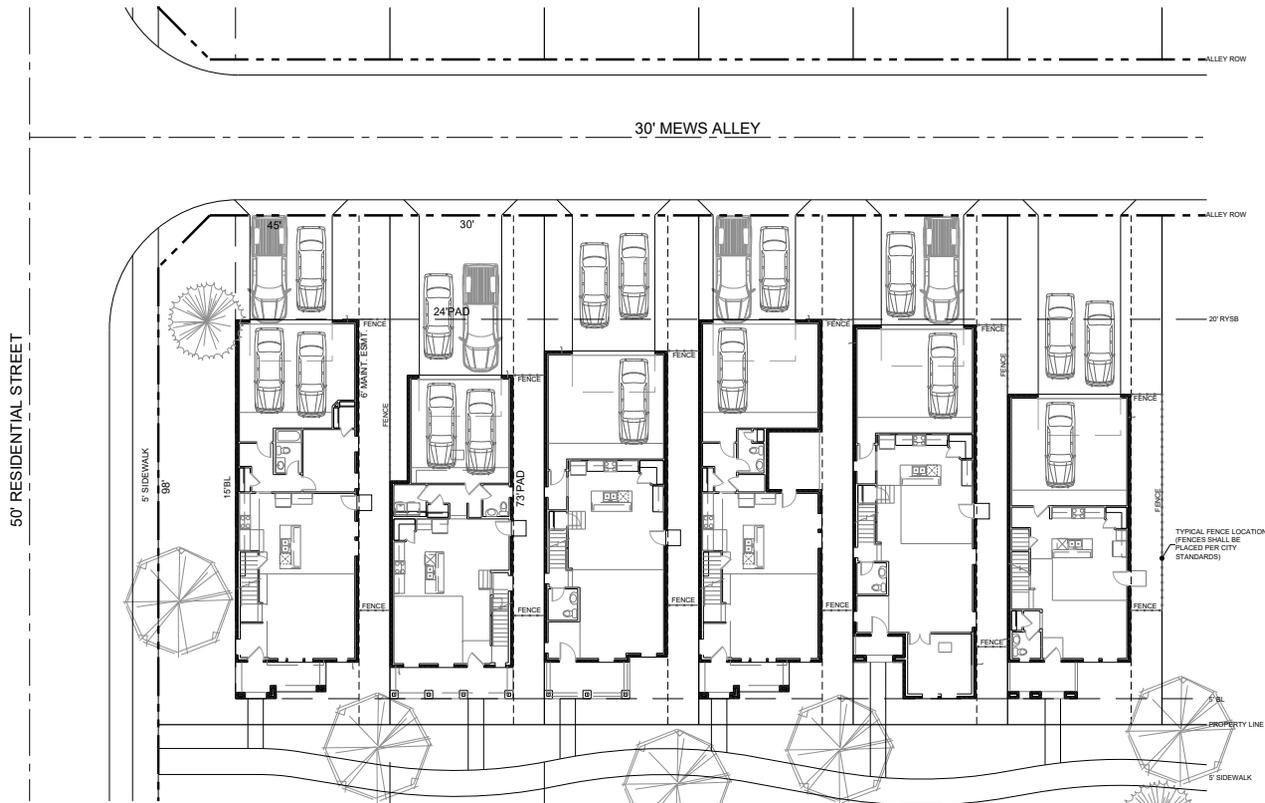
DATE: 10/20/20 10:45 AM PROJECT: 24436 SITE: 24436-001

Kimley»Horn

400 N. Oklahoma Dr.
Suite 105
Celina, Texas 75009
469-331-2200
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONFIDENTIAL. IN WATERS AND WETLANDS PRODUCED WITHOUT THE BENEFIT OF A SURVEY OR CONVEYANCE INSTRUMENT.

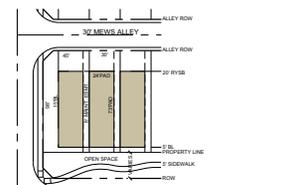
Printed By: Burswell, Allen Date: January 06, 2024 04:47:35pm File Path: \\atlprod1\0\usa\Project\DAL_Civil\No_Proj\DS E_20240222 - Lake Sharon\GIS\AEC\khs\aa\Parish\sheet\2\2\m\j\c\Drawings.dwg
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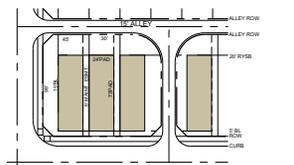
MIEWS COTTAGE HOME LOTS



MIEWS COTTAGE HOME ELEVATIONS



MIEWS COTTAGE HOME LOTS



COTTAGE HOME LOTS

Note:
 Lot dimensions are typical. See Plan Development Standards for minimum lot dimensions.



VICINITY MAP

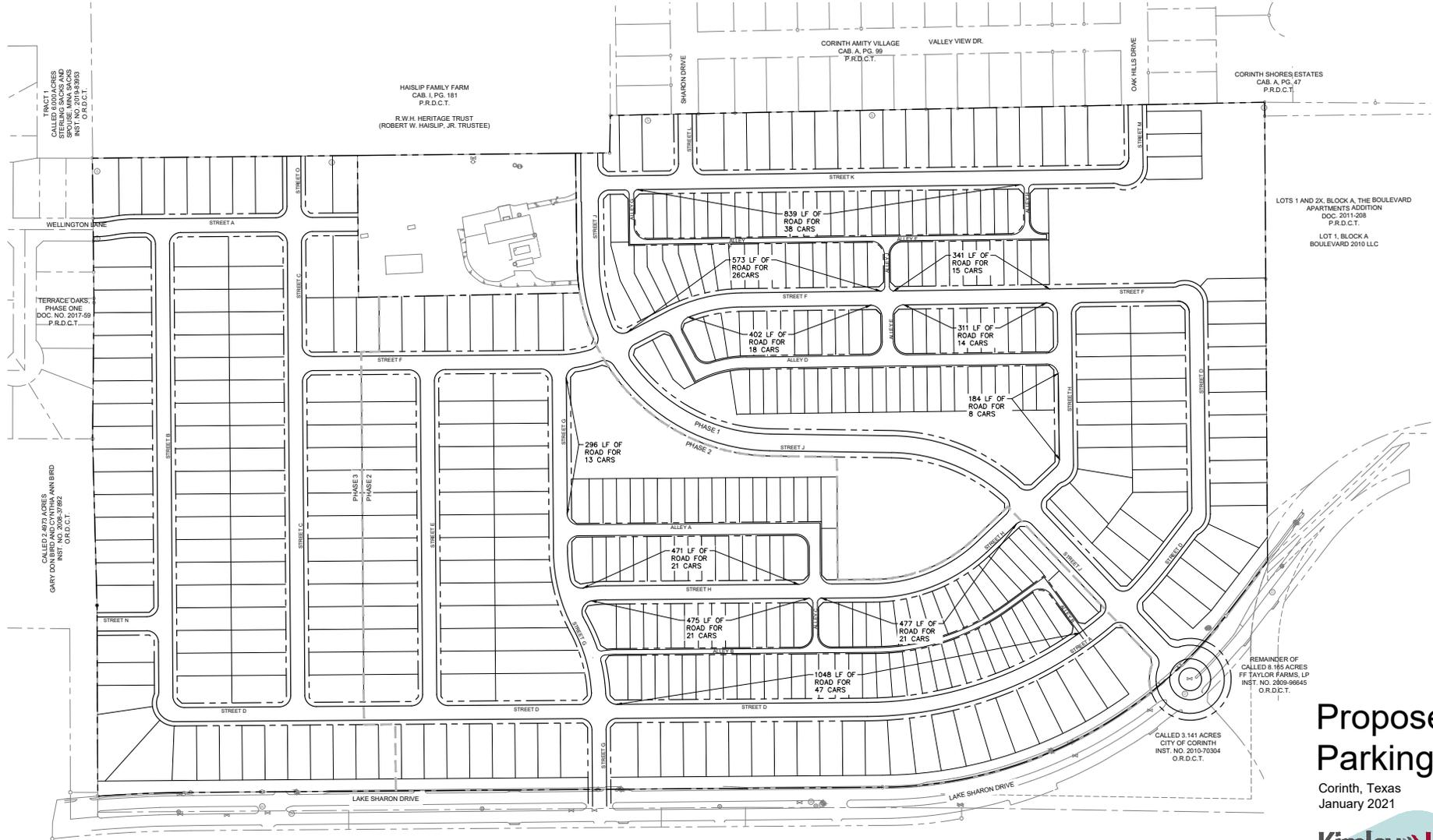
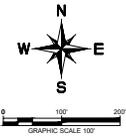
COTTAGE LOT DETAILS

Ashford Park

BEING tracts of land situated in the William Wilson Survey, Abstract No.1383, and being approximately 82.958 acres in the City of Corinth, Denton County, Texas
 December 2020

APPLICANT: Montage Homes Matthew Pagora 2840 Cypress Waters Blvd Dallas, TX 76092 P 972-580-6302 C 847-578-9439 E matthew.pagora@montagehomes.com	OWNERS: Elmo M. & Darlene S. Blout Co. 2505 Sharon Dr. Corinth, TX 76210 P 214-422-8099 E elmo@blout.net E matthew.pagora@montagehomes.com	ENGINEER / SURVEYOR: Kimley-Horn and Associates State of Texas Registration No. F 928 13433 Noel Road Suite 100 Dallas, TX 75240 P 469-954-8720 M 817-302-4332 Contact: Bryan Brown, PE E bryan.br@kimleyhorn.com
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Proposed Parking

Corinth, Texas
January 2021



13455 Noel Rd
Two Galleria Tower, Suite 700
Dallas, TX 75240
Tel: (972) 770-1300
Contact: Bryan Moody, P.E.

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED FOR THE BENEFIT OF A BIDDING OR CONTRACT WITH THE CITY, COUNTY, STATE OR FEDERAL AGENCY.

PD Design Statement
For
Ashford Park Planned Development
Corinth, Texas 76210
January 2020

A. Purpose

The proposed Planned Development District (the “PD”) is located within the Lake Sharon Central focus area of the City’s Envision Corinth 2040 Comprehensive Plan (the “Comprehensive Plan”). The Lake Sharon Central focus area is identified for a future land use of Mixed Residential, which has goal priorities of providing a variety of single family lots, a network of connected trails and open spaces, neighborhood scale detention/drainage facilities, and an overall residential density of 6 to 10 units per acre.

The purpose of this PD is to allow for the development of a single-family community in general accordance with the Comprehensive Plan. The City’s traditional detached single-family zoning districts do not generally allow the desired overall density per the Comprehensive Plan. The proposed PD will include two lot sizes that will allow the property to be developed with a density more in line with the desires the Comprehensive Plan. The PD will also allow for Mews Cottage Homes that front onto open spaces that will provide a unique streetscape along the extension of Parkridge Drive with a corridor of connected open spaces. Additionally, the development will provide a network of sidewalks with trails along Parkridge Drive and Lake Sharon Drive. Finally, neighborhood detention facilities with sidewalk and street frontages will be provided.

B. General Information

The PD is located on the west side of the City of Corinth, at the northwest corner of Lake Sharon Drive and Parkridge Drive.

The PD is located within a predominately residential portion of the city of Corinth. There is an existing residential development to the north zoned SF-4 and an undeveloped property zoned PD-39, which allows for SF-4 residential uses. To the east is a multifamily development zoned PD-31. To the west is an existing residential development zoned PD-39 and an undeveloped property zoned SF-2. The properties to the south are mostly zoned SF-4 with a small commercial piece zoned C-1.

1. Current Property Owners

The PD area is a compilation of two separately owned properties totaling 82.96 acres. The properties are listed below and are more specifically described and shown on the Depiction of Property Exhibits attached hereto.

- a. F.F. Taylor Farms owns 61.95 acres.
- b. Elmo M. & Darlene S. Blount own 21.01 acres. The Blount’s will retain ownership of approximately 3 acres surrounding their existing homesite within the PD area.

2. Developer

Meritage Homes of Texas, LLC

C. Current Zoning

The properties making up the PD currently include four different zoning districts. There is approximately 2.7 acres southeast corner zoned SF-4, approximately 6.5 acres in the southwest corner zoned SF-2, approximately 3.5 acres in the northwest corner zoned PD-39, with the remainder and majority of the PD area being zoned PD-5, which allows for SF-4 residential uses.

D. Base Zoning District

The PD shall be subject to all regulations of the Corinth Unified Development Code (“UDC”), as exists or may be amended, for the SF-4 Single Family Residential Zoning District, except as modified herein.

E. Land Use Regulations

All Permitted Uses in the SF-4, Single Family Residential District, as listed in Subsection 2.07 of the UDC, shall be allowed uses.

The residential lot layout shall be in general conformance with the PD Concept Plan attached hereto.

1. Lot Types & Density

The PD is intended to provide for development of two single-family lot types, “Cottage Home” lots and “Patio Home” lots, as defined further below in Section F. Dimensional Regulations. The PD Concept Plan attached hereto currently includes a total of 455 residential lots and a gross density of approximately 5.5 units/acre.

2. Open Space

Open spaces are provided throughout as shown on the Concept Plan. A minimum of 10% open space shall be provided within the PD area. The 10% open space minimum shall be measured cumulatively over the entire PD area and not over any individual phase of development. Open spaces shall include required landscape buffers adjacent to thoroughfares, detention areas meeting the requirements described below, amenity center lots, and all other open spaces as generally show on the Concept Plan.

Wet detention areas area may only be included in required open space calculations if amenitized to include a 6’ meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate 1 for every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.

Dry detention areas area may only be included in required open space calculations if amenitized to include a 6’ meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate 1 for every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings

behind each bench. A minimum of 25% of the pond perimeter shall have a 10:1 side slope with the remaining area not to exceed a maximum side slope of 4:1. The flat bottom of the basin will be kept manicured, maintained, in a condition that will not promote standing water, and be of a sufficient size to accommodate active play space no less than ¼ acre (10,000 sf) in area. Alternative perimeter side slopes may be considered by the City at the time of preliminary plat based on best engineering and planning practices and safety.

3. Landscaping Regulations

Landscaping Regulations as set forth in Subsection 2.09.01 for Attached and Detached Single Family Developments shall apply, except that a modification will be considered to allow the location of required tree plantings for the Cottage Home lots to be located and planted on the Mews Open Space lots along Parkridge and around the perimeter of open space detention areas.

4. Tree Preservation and Removal

- a. City agrees to the proposed removal of trees in accordance with the Construction Documents
- b. The required tree mitigation shall be calculated as the total caliper inches of protected trees at a 1" to 1" ratio. A protected tree shall mean any species of tree, except those identified in Table 16 of Subsection 2.09.02 of the UDC, having a trunk caliper of 6" or more measured approximately 4'6" (breast height) above existing natural grade and currently in a healthy condition.
- c. Developer shall be allowed to provide mitigation by using any combination of replacement trees or fee in lieu of.
 - i. A replacement tree shall mean any tree planted within open spaces or on residential lots with the initial construction of the home, including those trees required by Subsection 2.09.01 of the UDC, that are of a species of Canopy (Shade) tree or Understory (Small) tree from Table 15 of Subsection 2.09.01. Canopy (Shade) trees shall not be smaller than 3 caliper inches at time of planting. Understory (Small) trees shall not be smaller than 2 caliper inches at time of planting.
 - ii. The fee in lieu of replacement trees shall be \$150 per caliper inch.
- d. Credits towards the required tree mitigation shall be provided for existing trees preserved within all open spaces as follows:
 - i. All preserved and healthy post oak trees, 6 caliper inches and larger, shall receive a credit at a rate of 3:1 (3 inches for every 1 inch preserved).
 - ii. All other preserved healthy protected trees, 6 caliper inches and larger, shall receive a credit at a rate of 2:1 (2 inches for every 1 inch preserved).
 - iii. All preserved trees not considered as protected, 6 caliper inches and larger, shall receive a credit at a rate of 0.5:1 (0.5 inch for every 1 inch preserved).

F. Dimensional Regulations

The dimensional regulations for “Cottage Home” lots and “Patio Home” lots shall be as defined in the table below.

	SF-4 (Base Zoning)	Patio Home Lots	Cottage Home Lots
Minimum Front Yard Setback	25'	20'	5'
Minimum Side Yard Setback on Interior Lots ⁽¹⁾	5'	5'	0'/6' ⁽²⁾
Minimum Side Yard Setback on Corner Lots ⁽³⁾	15'	15'	15' Streets/5' Alleys
Minimum Rear Yard Setback	20'	20'	20'
Minimum Garage Setback	25'	20' ⁽⁴⁾	20'
Minimum Lot Area	7,500 sq. ft.	5,500 sq. ft.	2,700 sq. ft.
Maximum Density		See Footnote #5	
Minimum Lot Width at Platted Building Line	70'	50'	30'
Minimum Lot Depth	100'	110'	90'
Minimum Floor Area	1,500 sq. ft.	1,800 sq. ft.	1,600 sq. ft.
Maximum Building Area Coverage ⁽⁶⁾	30%	55%	65%

(1) Air conditioning units may be installed within side yard setback.

(2) One side may have a minimum 0' side yard setback (zero lot line) while the other side shall have a minimum 6' side yard setback. A minimum of 6 feet shall separate all buildings. Eaves may overhang a neighboring lot line by up to 18 inches on zero lot line side.

(3) Corner key lots shall have a side yard setback on the street side equal to the front yard setback.

(4) Section 2.09.03.B.3.b. of the UDC shall be modified to allow a minimum 20' garage setback, provided that the garage is in line or setback from the front façade.

(5) The total number of single-family lots shall not exceed 458 units. The maximum number of Cottage Homes is 220 units. The maximum number of Patio Homes varies based on the actual number of Cottage Homes such that the 458 total units is not exceeded. The location of cottage homes may not be along the property boundary, except along the eastern property boundary adjacent to the existing multi-family development.

(6) Exclusive of sidewalks, driveways, and accessory structures.

G. Subdivision Regulations

1. Street Standards

All street and alleys as shown on the PD Concept Plan shall meet the requirements of the UDC, as exists or may be amended.

- a. Mews Alleys. Mews alleys shall be provided where Cottage Home lots front onto open spaces and fire access to such lots is provided from the alley. Mews alleys shall have a 30' right-of-way with a minimum 24' edge to edge concrete paving.

2. Sidewalk Standards

All sidewalks adjacent to streets shall be a minimum width of 5 feet, except along the west side of Parkridge Drive that shall have a minimum 8' trail and a 10' trail along Lake Sharon Drive (Developer shall widen the existing 4' sidewalk to create the 10' trail).

3. Blocks

All blocks as shown on the PD Concept Plan shall meet the requirements of Subsection 3.05.06 of the UDC, as exists or may be amended.

H. Fence and Screening Regulations

1. Subsection 4.02.11.E of the UDC, as exists or may be amended, shall be modified to allow the following:
 - a. Where residential lots side to Parkridge Drive, the Developer shall be allowed to construct a 6-foot-high board on board fence with masonry columns spaced every other lot corner and at fence ends to satisfy screening requirements. The columns at fence ends shall be placed at most 25' back from the front building line.
 - b. All Mews Cottage Home lots (those that front onto an open space) facing Parkridge Drive shall not be required to provide screening along the front of said lots.
2. Subsection 4.02.10.B of the UDC, as exists or may be amended, shall be modified as follows:
 - a. Where residential lots side to Parkridge Drive, no fence shall be erected in front of the screening fence column as described above in Subsection H.1.a herein.

I. Existing Thoroughfare Impacts

Based on the current PD Concept Plan, the site at full buildout is expected to generate approximately 4,220 daily one-way trips, approximately 248 AM Peak Hour Trips out, and approximately 279 PM Peak Hour Trips in.

Lake Sharon Drive is currently constructed to its ultimate street section. Considering that with the proposed improvements to Parkridge Drive through the PD area, the existing thoroughfares immediately surrounding the site are expected to have adequate capacity for the additional traffic generated.

A round-about will be constructed at the intersection of Lake Sharon Drive and Parkridge Drive per the City's Master Thoroughfare Plan. This will improve the capacity and function of this intersection.

J. Existing Site Features

The site is currently used for large estate residential or agricultural purposes. The following is a brief description of the existing physical characteristics of the site which are depicted with aerial photograph and topography on the Site Inventory Analysis Exhibit attached hereto.

1. Elevation & Slope Analysis

The highest point of the site is generally located in the southwest corner and is approximately a 645 elevation. The lowest point of the site is generally located in the northeast corner of the site and is approximately a 585 elevation. The natural topography of the site has a slope that ranges from approximately 1.5% in the

northeast corner to as much as approximately 12.5% a from the high point in the southwest corner.

2. Soil Characteristics

The soil characteristics of the site are typical of those found in the North Texas area and more specifically in the City of Corinth.

3. Tree Cover

There is existing tree cover generally in the southern and southwestern portions of the site. The existing trees mostly include oak trees.

4. Drainage Information

Based on the existing topography, the majority of the site naturally drains to the northeast corner and ultimately to Lynchburg Creek, with small areas draining to the adjacent properties to the west and to Lake Sharon Drive on the south and southeast corner.

K. Proposed Utility Infrastructure

Water and sanitary sewer will be constructed to provide service to all lots within the development. These improvements will be designed and constructed in accordance with the City's published criteria. All water and sanitary sewer improvements are intended to be public and will be dedicated to the City upon completion of construction.

Storm drainage improvements will be designed and constructed in accordance with the City's published criteria. All storm drain sewer improvements are intended to be public and will be dedicated to the City upon completion of construction, except for detention facilities that will be owned and maintained by the Homeowners Association.

Franchise utilities (e.g. electrical, gas, communications, etc.) will be constructed to provide service to all lots. These utility lines will remain privately owned by the franchise providers, except for streetlights that will be metered and dedicated to the City of Corinth.

L. Proposed Sequence and Time Frames of Development

The site will be developed in multiple phases as generally indicated on PD Concept Plan. Phase 1 of development which includes Parkridge Drive and the portion east of Parkridge is currently anticipated to start construction Q2 2021, subject to necessary City approvals, and be completed Q3/Q4 2022. Phases 2 and 3 are currently anticipated to be developed with 1 to 1.5 years between the start of construction on each phase. Phase 4 represents the area that the Blount's will retain ownership of at this time as described earlier herein. The time frame for development of Phase 4 is unknown.

The phases of development as shown on the PD Concept Plan and the time frames stated herein are subject to change based on market conditions.

M. Overall Project Summary

The Ashford Park Planned Development will be a great addition to the City of Corinth. The extension of Parkridge Road will create more development opportunities to the north and south of this project and provide a quality thoroughfare for traffic in the area. The range of lots conforms to the Future Land Use designation in the newly adopted 2040

Comprehensive Plan. A mixture of alley-loaded and traditional front-entry homes will be placed throughout the development, offering a variety in building product while creating an enhanced streetscape.

The development will also include open spaces, neighborhood gathering areas, and trail connectivity. In addition, an amenity center with pool, playground, and restroom facilities will be provided for the residents of the development.

**PD List of Departures
For
Ashford Park Planned Development
Corinth, Texas 76210
January 2020**

The Unified Development Code, as exists or may be amended, shall be modified per the list below:

1. Subsection 2.08 – Zoning Dimensional Regulations shall be modified from the base zoning district of SF-4 to allow for two lot types, “Cottage Home” lots and “Patio Home” as defined in the table below.

	SF-4 (Base Zoning)	Patio Home Lots	Cottage Home Lots
Minimum Front Yard Setback	25'	20'	5'
Minimum Side Yard Setback on Interior Lots⁽¹⁾	5'	5'	0'/6' ⁽²⁾
Minimum Side Yard Setback on Corner Lots⁽³⁾	15'	15'	15' Streets/5' Alleys
Minimum Rear Yard Setback	20'	20'	20'
Minimum Garage Setback	25'	20' ⁽⁴⁾	20'
Minimum Lot Area	7,500 sq. ft.	5,500 sq. ft.	2,700 sq. ft.
Maximum Density		See Footnote #5	
Minimum Lot Width at Platted Building Line	70'	50'	30'
Minimum Lot Depth	100'	110'	90'
Minimum Floor Area	1,500 sq. ft.	1,800 sq. ft.	1,600 sq. ft.
Maximum Building Area Coverage⁽⁶⁾	30%	55%	65%

⁽¹⁾ Air conditioning units may be installed within side yard setback.

⁽²⁾ One side may have a minimum 0' side yard setback (zero lot line) while the other side shall have a minimum 6' side yard setback. A minimum of 6 feet shall separate all buildings. Eaves may overhang a neighboring lot line by up to 18 inches on zero lot line side.

⁽³⁾ Corner key lots shall have a side yard setback on the street side equal to the front yard setback.

⁽⁴⁾ Section 2.09.03.B.3.b. of the UDC shall be modified to allow a minimum 20' garage setback, provided that the garage is in line or setback from the front façade.

⁽⁵⁾ The total number of single-family lots shall not exceed 458 units. The maximum number of Cottage Homes is 220 units. The maximum number of Patio Homes varies based on the actual number of Cottage Homes such that the 458 total units is not exceeded. The location of cottage homes may not be along the property boundary, except along the eastern property boundary adjacent to the existing multi-family development.

⁽⁶⁾ Exclusive of sidewalks, driveways, and accessory structures.

This departure is necessary to provide a variety of lot types within the community and achieve an overall density generally in line with the goals of the City's current Comprehensive Plan.

2. Subsection 2.09.03.B.3.b. shall be modified to allow a minimum 20' garage setback from the front property line.

This departure is necessary to provide the desired lot size for the "Patio Home" lots and achieve an overall density generally in line with the goals of the City's current Comprehensive Plan.

3. Subsection 3.05.05 - Alleys shall be modified to add provisions for A Mews Alley section. Mews alleys shall be provided where "Cottage Home" lots front onto open spaces and fire access to such lots is provided from the alley. Mews alleys shall have a 30' right-of-way with a minimum 24' edge to edge concrete paving.

This departure is necessary to provide a lot type that fronts to open space creating an opportunity for a unique streetscape along the extension of Parkridge Drive.

4. Subsection 4.02.11.E shall be modified to allow the following:
 - a) Where residential lots side to Parkridge Drive, the Developer shall be allowed to construct a 6-foot-high board on board fence with masonry columns spaced every other lot corner and at fence ends to satisfy screening requirements. The columns at fence ends shall be placed at most 25' back from the front building line.
 - b) All Mews Cottage Home lots (those that front onto an open space) facing Parkridge Drive shall not be required to provide screening along the front of said lots.

This departure is necessary to as a part of creating a unique streetscape of connected open space along the extension of Parkridge Drive.

5. Subsection 4.02.10.B shall be modified as follows:
 - a) Where residential lots side to Parkridge Drive, no fence shall be erected in front of the screening fence column as described above in note 4.a) above.

This departure is necessary to ensure the private home fencing does not extend out in front of the screening fence/columns along Parkridge Drive.

6. Subsection 3.01.05.A.3. shall be modified to require that a minimum of 10% open space shall be provided within the PD area. The 10% open space minimum shall be measured cumulatively over the entire PD area and not over any individual phase of development. Open spaces shall include required landscape buffers adjacent to thoroughfares, detention areas meeting the requirements described below, amenity center lots, and all other open spaces as generally show on the Concept Plan.

Wet detention areas area may only be included in required open space calculations if amenitized to include a 6' meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate 1 for every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The pond shall include a fountain feature.

Dry detention areas area may only be included in required open space calculations if amenitized to include a 6' meandering trail around the perimeter that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of 1 tree per 30 linear feet of trail) and ornamental trees (at a rate 1 for every 2 shade trees provided) located at intervals along the trail. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. A minimum of 25% of the pond perimeter shall have a 10:1 side slope with the remaining area not to exceed a maximum side slope of 4:1. The flat bottom of the basin will be kept manicured, maintained, in a condition that will not promote standing water, and be of a sufficient size to accommodate active play space no less than ¼ acre (10,000 sf) in area. Alternative perimeter side slopes may be considered by the City at the time of preliminary plat based on best engineering and planning practices and safety.

This departure is necessary to achieve an overall density generally in line with the goals of the City's current Comprehensive Plan while still maintaining useable open space throughout the development that will be connected by a network of sidewalks and trails.

7. Subsection 2.09.01 shall be modified to allow the location of required tree plantings for the Cottage Home lots to be located and planted on the Mews Open Space lots along Parkridge and around the perimeter of open space detention areas.

This departure is necessary to due to the size of Cottage Homes and having the necessary space to plant the required trees.

8. Subsection 2.09.02 shall be modified to allow the following in regards to tree preservation, removal, and mitigation:
 - a) City agrees to the proposed removal of trees in accordance with the Construction Documents
 - b) The required tree mitigation shall be calculated as the total caliper inches of protected trees at a 1" to 1" ratio. A protected tree shall mean any species of tree, except those identified in Table 16 of Subsection 2.09.02 of the UDC, having a trunk caliper of 6" or more measured approximately 4'6" (breast height) above existing natural grade and currently in a healthy condition.
 - c) Developer shall be allowed to provide mitigation by using any combination of replacement trees or fee in lieu of.
 - i. A replacement tree shall mean any tree planted within open spaces or on residential lots with the initial construction of the home, including those trees required by Subsection 2.09.01 of the UDC, that are of a species of Canopy (Shade) tree or Understory (Small) tree from Table 15 of Subsection 2.09.01. Canopy (Shade) trees shall not be smaller than 3 caliper inches at time of planting. Understory (Small) trees shall not be smaller than 2 caliper inches at time of planting.
 - ii. The fee in lieu of replacement trees shall be \$150 per caliper inch.

- d) Credits towards the required tree mitigation shall be provided for existing trees preserved within all open spaces as follows:
- i. All preserved and healthy post oak trees, 6 caliper inches and larger, shall receive a credit at a rate of 3:1 (3 inches for every 1 inch preserved).
 - ii. All other preserved healthy protected trees, 6 caliper inches and larger, shall receive a credit at a rate of 2:1 (2 inches for every 1 inch preserved).
 - iii. All preserved trees not considered as protected, 6 caliper inches and larger, shall receive a credit at a rate of 0.5:1 (0.5 inch for every 1 inch preserved).

This departure is necessary to achieve an overall density generally in line with the goals of the City's current Comprehensive Plan while offsetting the significant economic impact that would make this project nonviable.



Planning and Zoning Commission **City Hall and Video Conference Meeting**
Date: **MONDAY, JANUARY 25, 2021 AT 6:30 P.M.**

City Council Regular **City Hall and Video Conference Meeting**
Date: **THURSDAY, FEBRUARY 18, 2021 AT 7:00 P.M.**

Hearings Location: City Hall, 3300 Corinth Parkway, Corinth, TX 76208 and remotely at <https://www.cityofcorinth.com/remotesession>

Dear Property Owner:

On **Monday, January 25, 2021, at 6:30 PM**, the City of Corinth Planning and Zoning Commission will hold a public hearing to consider testimony and make a recommendation to the Corinth City Council on the items listed below, and on **Thursday, February 18, 2021, at 7:00 PM**, the Corinth City Council will hold a public hearing to consider testimony and consider the approval of an Ordinance regarding the item listed below:

A rezoning request by Meritage Homes on behalf of the owners, Elmo M. & Darlene S. Blount, and F.F. Taylor Farms, LP, to amend the zoning classification from SF-4 Single Family Residential, SF-2 Single Family Residential, PD-5 Planned Development District for SF-3 Single Family Residential and SF-4 Single Family Residential, and PD-39 for SF-4 Single Family Residential to a Planned Development on an approximate 82.96 acres of land, with a base zoning district of SF-4 Single Family Residential legally described as E. Blount Subdivision, Lot 1, (21.013 acres, 2250 Sharon Drive), and an approximate 61.947 acres of land (2303, 2305, 2307 Lake Sharon Drive and 2310 Parkridge Drive) within the William Wilson Survey, Abstract No. 1383, Corinth, Texas. **The property is generally located north of Lake Sharon Drive, south of Valley View Drive, west of North Corinth Street, east of Evans Road, and south of Church Drive. (Meritage Lake Sharon PD ZAPD20-0003)**

As a property owner within two hundred (200) feet of this property, you are invited to attend this meeting, either in person or through video conference, and voice your opinion at the public hearing. You are not required to be present, but all interested parties wanting to be heard should participate through the time and methods stated above.

Additionally, your opinion regarding the request on the property described above may be expressed by notation on this form or by letter. You may support or oppose this request; your opposition will be considered a protest. Written comments must be received by the **City of Corinth Planning and Development Department at 3300 Corinth Parkway, Corinth, Texas 76208 (protests must be received 3 days prior to public hearings)**. Comments may also be sent by email to **Miguel Inclan, Planner, at miguel.inclan@cityofcorinth.com**. Additionally, if you have any questions regarding the proposed item you may call **940-498-3263** for assistance.

I am writing in (Check as applicable) Support: Opposition: of the proposal.

Please see attached document.

Name/Address/City: (Please Print) (Required)
Sterling Sacks

SACKS, STERLING & MINA
1713 BIRCH LN
CORINTH, TX 76210-4130

REC'D JAN 02 2021

In accordance with Section 418.016 of the Texas Government Code, the Corinth Planning and Zoning Commission and the City Council may participate in this meeting remotely in compliance with the Texas Open Meetings Act and under the provisions provided by the Governor of Texas in conjunction with the Declaration of Disaster enacted March 13, 2020 and as amended on March 24, 2020.

January 20, 2021

City of Corinth Council and Planning/Zoning Commission,

I am writing to protest the proposed development by Meritage Homes described as north of Lake Sharon Dr., south of Valley View Dr., west of North Corinth St., east of Evans Rd., and south of Church Dr. (Meritage Lake Sharon PD ZAPD20-003)

I am in opposition to the plan that is being proposed due to the high density lots that Meritage Homes wishes to build on. Lots that are 30' and 50' wide are designed to fit as many houses as possible into one place.

Such a plan would not be an asset to Corinth, as a city nor to resident Corinthians. Such a development would produce:

- 1) An unsightly development that resembles row housing of an inner city and reduces the beauty of Corinth and Lake Sharon Dr.
- 2) Because of the unsightly row houses, property values nearby (and possibly all of Corinth) would be negatively effected.
- 3) The high density row houses would create congestion on and around Lake Sharon Dr. because of the large number of people that would be able to occupy that relatively small area.

A prime example of a type of development that would be an asset to Corinth can be found on Post Oak Dr. Its name is Provence. The Provence neighborhood hosts lots that are roomy and desirable. Corinth's property values and neighborhood beauty are both increased by its existence.

A secondary example of a neighborhood that is an asset to Corinth can also be found on Post Oak Dr. Its name is Terrace Oaks. Terrace Oaks lots are a bit smaller (making it a lesser example) but it is a fine neighborhood that adds value to Corinth.

The concept plan put forward by Meritage Homes would not be an asset to Corinth. Indeed such a development would be a liability.

REC'D JAN 02 2021

Sincerely,

Sterling Sacks

From: Kristin McCann <kmccann1028@gmail.com>
Sent: Sunday, January 17, 2021 11:16 PM
To: Miguel Inclan
Subject: Rezoning request by Meritage Homes

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Miguel,

Good evening! I am writing my comments instead of mailing them in regarding the proposed development on Lake Sharon Drive, South of Valley View Drive, west of North Corinth St, east of Evans Rd and south of Church Drive.

Proposal stance: Opposed

Comment: We reside on Wellington Lane- our street will now be used as a main thoroughfare to access these new homes. The addition of 459 houses will create added noise, traffic and be a safety hazard to my two young children. The addition will take away from the calm outdoors that currently exists. We 100% oppose this addition and development.

Kristin and Jack McCann
2219 Wellington Lane Corinth TX 76210



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I am writing in (Check as applicable) Support: Opposition: of the proposal.

Believe this will be improvement or asset for the city

FOY TAYLOR & SONS FARMS
MANAGEMENT LLC
PO BOX 188
LAKE DALLAS, TX 75065-0188

Name/Address/City: (Please Print) (Required)

Rickie W Taylor 2313 Taylor Circle Corinth, TX 76210

In accordance with Section 418.016 of the Texas Government Code, the Corinth Planning and Zoning Commission and the City Council may participate in this meeting remotely in compliance with the Texas Open Meetings Act and under the provisions provided by the Governor of Texas in conjunction with the Declaration of Disaster enacted March 13, 2020 and as amended on March 24, 2020.