



PLANNING AND ZONING COMMISSION

CITY OF CORINTH, TEXAS

3300 CORINTH PARKWAY, CORINTH, TEXAS

REGULAR SESSION MEETING

MONDAY, APRIL 24, 2017 – 7:00 P.M.

City of Corinth ♦ 3300 Corinth Parkway ♦ Corinth, Texas 76208
940-498-3260 ♦ 940-498-3266 Fax ♦ www.cityofcorinth.com
Bill Heidemann, Mayor



*** PUBLIC NOTICE ***

**NOTICE OF THE CITY OF CORINTH
PLANNING AND ZONING COMMISSION REGULAR SESSION
MONDAY, APRIL 24, 2017 7:00 P.M.
CITY HALL – 3300 CORINTH PARKWAY**

CALL TO ORDER, INVOCATION

CONSENT AGENDA ITEM

1. Consider and act on Minutes from the March 27, 2017 Planning and Zoning Commission Regular Session.

BUSINESS AGENDA ITEM

2. Consider and act on the site plan for Corinth First Baptist Church on property legally described as First Baptist Church Addition Block A, Lot 1 zoned SF-4 Single Family Residential in the City of Corinth, Denton County, Texas and having a physical address of 3033 Meadowview Drive.

EXECUTIVE SESSION

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed session for the purpose of seeking confidential legal advice of the City Attorney on any Agenda Item listed herein.

As a majority of Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

ADJOURN REGULAR SESSION

Posted this 21st day of April, 2017 before 5:00 p.m. on the bulletin board at Corinth City Hall.

Nathan Abato
Planning and Zoning Commission
Planning and Development Coordinator
City of Corinth, Texas.

Corinth City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at 940.498-3200 or FAX 940.498-7505 for more information.

BRALE IS NOT AVAILABLE

CONSENT AGENDA ITEM #1

Planning and Zoning Commission Regular Session

April 24, 2017

CONSENT AGENDA ITEM

1. Consider and act on Minutes from the March 27, 2017 Planning and Zoning Commission Regular Session.

AGENDA ITEM SUMMARY/BACKGROUND

Consider and act on Minutes from the March 27, 2017 Planning and Zoning Commission Regular Session.

FINANCIAL SUMMARY

Source of funding:

RECOMMENDATION

ATTACHMENTS / SUPPORTING DOCUMENTS

Copy of the minutes.

Submitted By: Nathan Abato, Planning and Development Department

Finance Review: NA

Legal Review: NA

**STATE OF TEXAS
COUNTY OF DENTON
CITY OF CORINTH**

On this the 27th day of March, 2017, the Planning and Zoning Commission and the Capital Improvements Advisory Committee of the City of Corinth, Texas, met in a Regular Session at Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members, to wit:

Members Present

Bruce Hanson
Brian Rush
Charles Mills
Marc Powell

Members Absent

Breien Velde
Dwayne Zinn

CALL TO ORDER

The Regular Session of the Planning and Zoning Commission of the City of Corinth, Texas, was called to order by Brian Rush at 7:00 p.m. Marc Powell delivered the invocation.

CONSENT AGENDA ITEM:

1. Consider and act on Minutes from the February 27, 2017 Planning and Zoning Commission Regular Session.

MOTION made by Mr. Hanson to approve the minutes, subject to the verification of the Commissioners in attendance.

MOTION SECONDED by Mr. Powell.

4-0 All in favor:

Ayes: Charles Mills, Marc Powell, Brian Rush, Bruce Hanson
Noes: None
Absent: Breien Velde, Dwayne Zinn

MOTION TO APPROVE CARRIES

PUBLIC HEARING ITEM:

2. Consider and act on the Final Replat of Swisher 35-E Addition Lots X-2R, 6R, 7R, and 8R, Block A, on 5.108 acres and being a replat of Swisher 35-E Addition, Lots X-2, 6, 7, and 8, Block A, as shown on the plat recorded as Document No. 2017-67 PRDCT in the City of Corinth, Denton County, Texas.

Public Hearing opened at 7:03 PM.

Ms. Barbara Cubbage gave a brief presentation on the replat request—this is reconfiguration of the last remaining lots that were part of the original rezoning request that was not approved. The detention pond is being moved from behind the Burl Street residences to next to the hotel. She recommended, if it is approved tonight, to make it subject to the project engineer submitting revisions to the City Engineer before it is filed.

Mr. Hanson asked if lot three is the Comfort Inn. Ms. Cubbage answered yes. He asked if lots 6R and 7R will be impacted by the replat. Ms. Cubbage said 6R will remain the same but 7R is being enlarged with the lot line moving further east towards 8R.

Mr. Hanson asked about the panhandle area on the plat and what was originally there. Ms. Cubbage said that has always been an ingress/egress to Burl—and will be a fire lane as soon as lot 8 develops. Mr. Hanson asked where lot X-2R is moving from. Ms. Cubbage said on the plat in the detention pond easement, it states “abandoned by this plat”.

Mr. Mills asked if there will be an extension out to 2181 from Burl Street. Ms. Cabbage said there will be three ingress/egress driveways into the entire subdivision from the frontage road. Ms. Cabbage showed a hard copy of the plat exhibit to the commission to clarify.

Mr. Powell asked if the access to Burl will still be restricted. Ms. Cabbage said that will not be the case anymore—it will be open for through traffic.

Public Hearing closed at 7:12 PM.

BUSINESS AGENDA ITEM:

- 2a.** Consider and act on the Final Replat of Swisher 35-E Addition Lots X-2R, 6R, 7R, and 8R, Block A, on 5.108 acres and being a replat of Swisher 35-E Addition, Lots X-2, 6, 7, and 8, Block A, as shown on the plat recorded as Document No. 2017-67 PRDCT in the City of Corinth, Denton County, Texas.

MOTION made by Mr. Hanson to approve the replat as presented, subject to the applicant submitting the necessary changes to the City Engineer in response to the review letter from March 17.

MOTION SECONDED by Mr. Mills.

4-0 All in favor:

Ayes: Charles Mills, Marc Powell, Brian Rush, Bruce Hanson
Noes: None
Absent: Breien Velde, Dwayne Zinn

MOTION TO APPROVE CARRIES

ADJOURN

Meeting adjourned at 7:20 p.m.

MINUTES APPROVED THIS _____ DAY OF _____, 2017.

Brian Rush, Planning and Zoning Commission Chairman

Nathan Abato, Planning and Zoning Commission Secretary

BUSINESS ITEM #2

Planning and Zoning Commission Regular Session

April 24, 2017

BUSINESS: Consider and act on the site plan for Corinth First Baptist Church on property legally described as First Baptist Church Addition Block A, Lot 1 zoned SF-4 Single Family Residential in the City of Corinth, Denton County, Texas and having a physical address of 3033 Meadowview Drive.

APPROVAL PROCESS

A recommendation from the Planning and Zoning Commission regarding the site plan will be presented to City Council for final approval.

The Planning and Zoning Commission recommendation is anticipated to go before City Council on May 18, 2017 during the regular session meeting.

NOTIFICATION TO PUBLIC

Notification by sign placement, newspaper or written notice is not required for the site plan process related to building permits or on-site construction / development. However approval of the site plan is held in open meetings for both the Planning and Zoning Commission and City Council.

AGENDA ITEM DESCRIPTION

The Final Plat for the First Baptist Church Addition was approved in August 1987. A large addition on the west side of the complex was approved in 1999. During the construction of the sports complex LDISD extended shared parking to the Church.

First Baptist Church is adding 43 parking spaces including landscaping and drainage as required with their paving construction. No changes are being proposed to the existing structure.

The applicant has not proposed any alternative compliance.

ZONING

The proposed development is within the SF-4, Single Family Residential. This is the appropriate zoning district per the UDC Use Chart for churches.

COMPREHENSIVE PLAN FUTURE LAND USE DESIGNATION

The Comprehensive Plan Future Land Use Map shows this areas designation to be Public/Semi-Public which is appropriate for this use.

FINANCIAL SUMMARY

Source of Funding: No funding is required.

STAFF RECOMMENDATION

Staff recommends approval of the site plan subject to addressing the comments on the attached site plan review letter.

ATTACHMENTS / SUPPORTING DOCUMENTS

Location Map
Zoning Map
Land Use Map
Staff Review Letter
Site Plan Packet

Submitted By: Barbara Cubbage, Planning and Development Manager
Department: Planning and Development

Finance Review: Yes NA

Legal Review: Yes NA

Director Review and Approval:



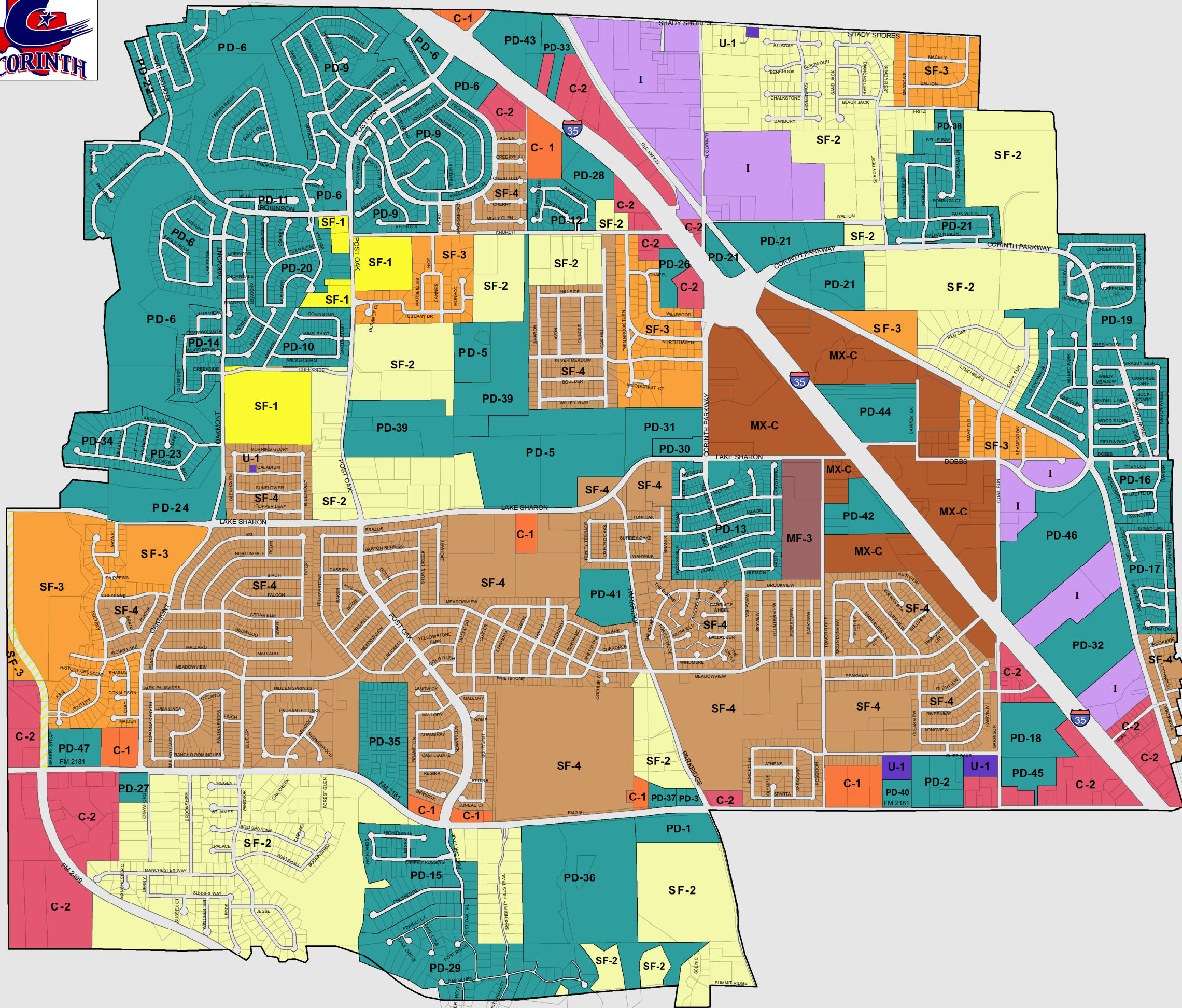
FIRST BAPTIST CHURCH

Site Location



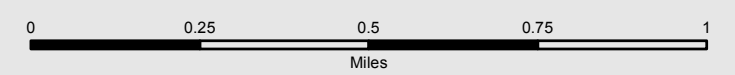
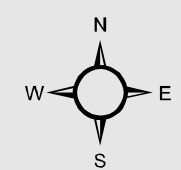


City of Corinth Zoning Map

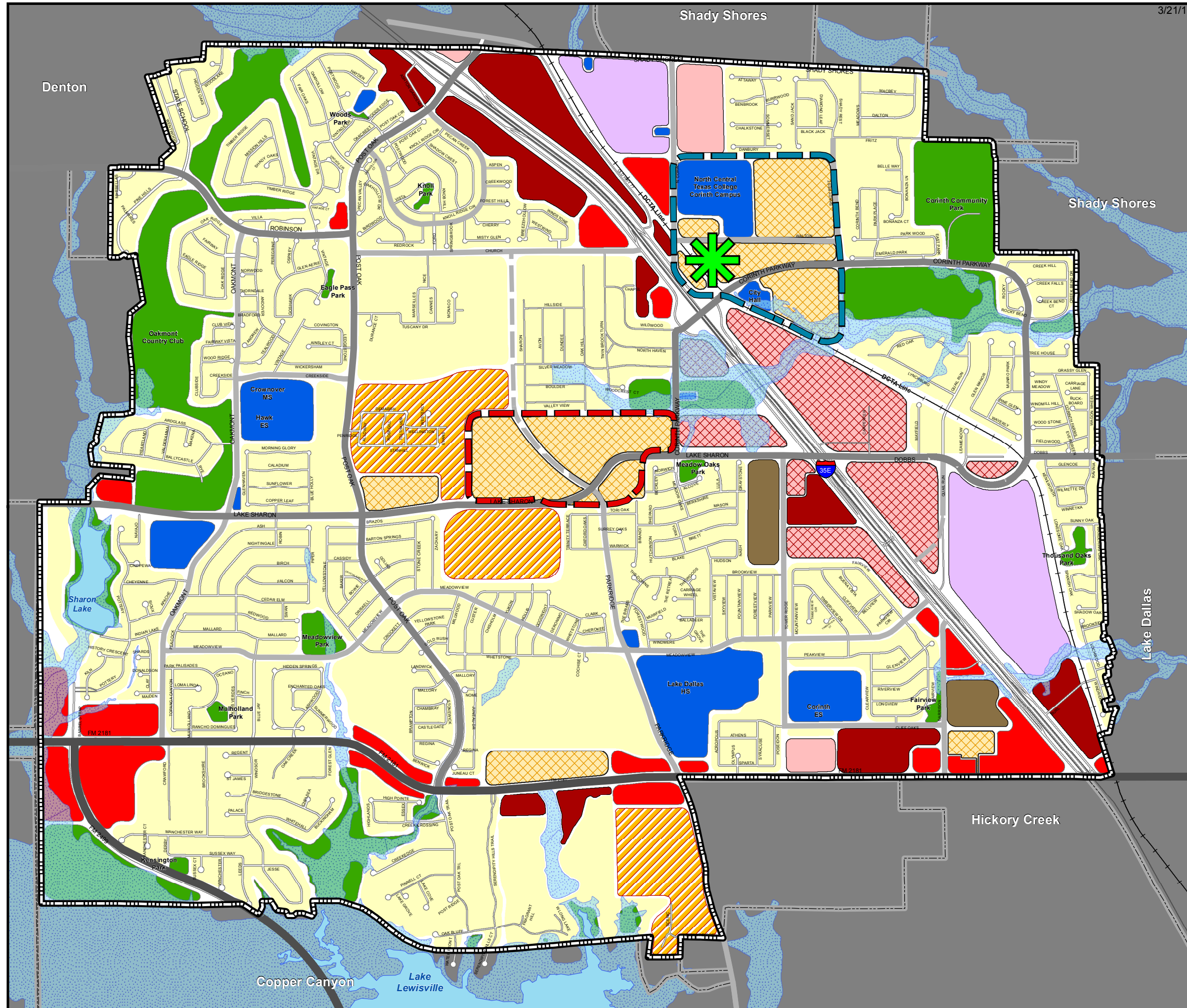


Legend

- Zoning Districts**
- Future FM 2499
 - C-1 Commercial
 - C-2 Commercial
 - C-3 Commercial
 - I Industrial
 - MF-1 Multi-Family Residential
 - MF-2 Multi-Family Residential
 - MF-3 Multi-Family Residential
 - MHD Modular Home District
 - MX-C Mixed Use Commercial
 - PD Planned Development
 - SF-1 Single Family Residential
 - SF-2 Single Family Residential
 - SF-3 Single Family Residential
 - SF-4 Single Family Residential
 - U-1 Utility



Future Land Use Plan



Future Land Use

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mixed Residential
- Mixed Use with Residential
- Parks and Open Space
- Public/Semi-Public
- Mixed Use Non-Residential
- Office/Business Park
- Retail
- Commercial
- Industrial

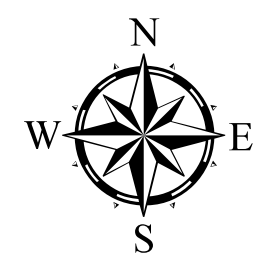
- Multi-Modal Transit Center
- Transit Oriented Development
- Corinth City Center

Road Types

- Major Arterial
- Minor Arterial
- Collector
- Corinth City Limits
- FEMA 100 Year Floodplain

Plate 4-1

Note:
A Comprehensive Plan shall not constitute zoning district regulations or establish zoning district boundaries.





940-498-3200
www.cityofcorinth.com

City of Corinth
3300 Corinth Parkway

Fax: 940-498-3232
Corinth, TX 76208

April 18, 2017

Kyle Bennett
1801 Gateway Blvd, Suite 101
Richardson, TX 75080

Resubmittal: First Baptist Church, SP review Lot 1, Block A, First Baptist Church Addn

Dear Mr. Bennett,

The City received the referenced re-submittal and have the following comments:

1. **Original Comment #8** - Clarify that the gravel used for parking on the south side of the building will be removed.

Consultant Response: Noted on the plat – “existing gravel area to remain”.

Staff: Staff is agreeable to the gravel remaining however please provide an additional note on the site plan stating, “Parking is not permitted on the graveled area.”

ENGINEERING COMMENTS

2. Original Engineering Comment - Pavement design does not meet city minimum standards for new development.
3. Original Engineering Comment - The responses indicate that detention was provided off site at the high school for the church site development. Drainage design for the high school detention pond appears to be based on a 25-year storm which does not meet current standards. Other design standards are also not up to current standards such as pre and post C-factors.
4. Engineering Comment - Paving and detention design should be based on current design standards for new development.

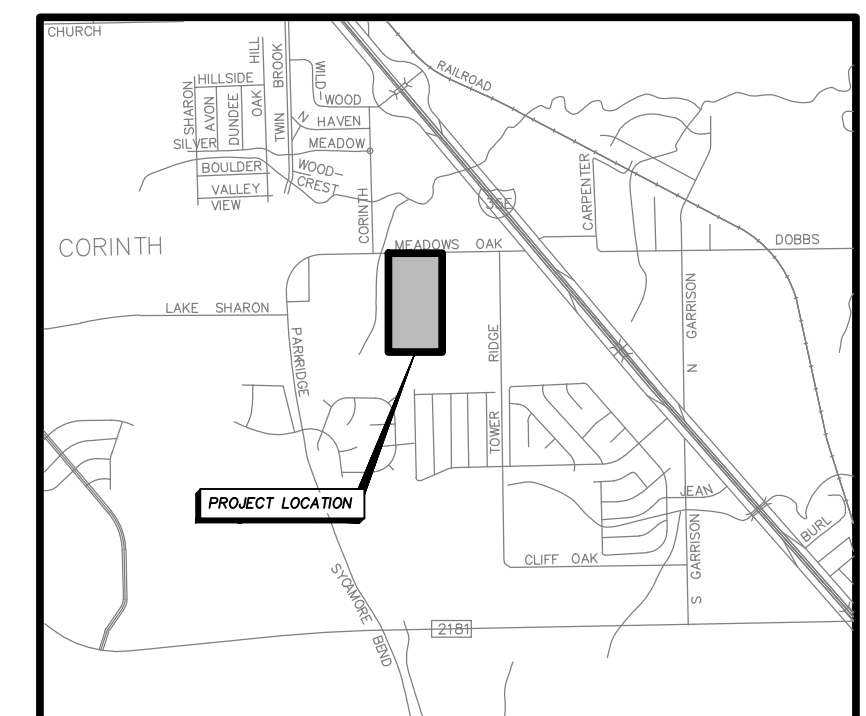
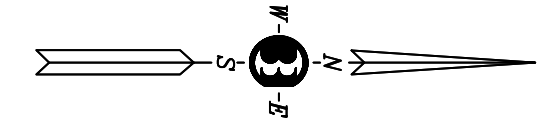
Corrections and inclusions incorporated into resubmittals may require additional comments with subsequent reviews.

Sincerely,

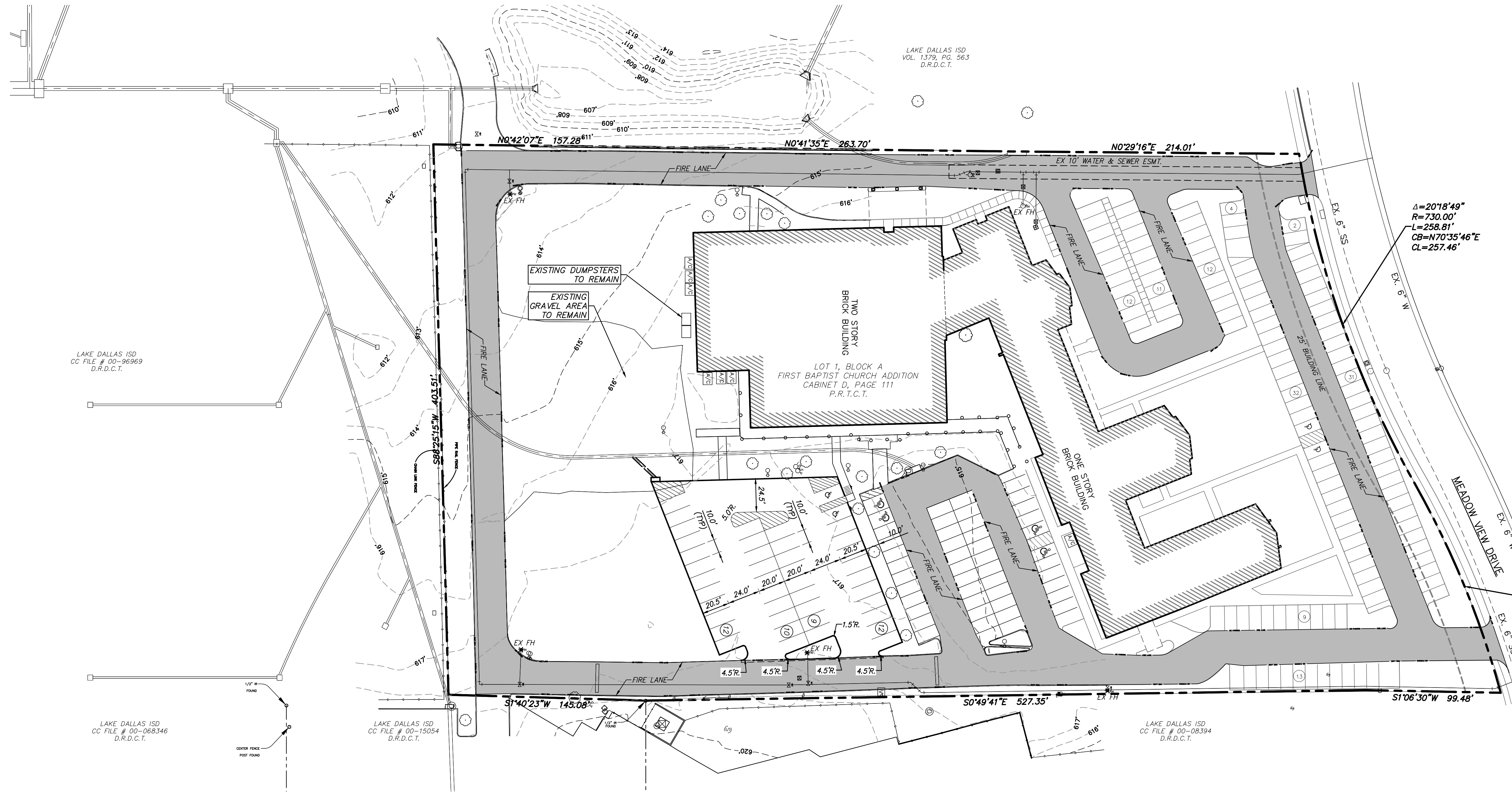
Barbara Cabbage
Planning and Development Manager
940-498-3260

CAUTION!

THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.



VICINITY MAP
N.T.S.



LEGEND
FIRE LANE

$\Delta=20'18'49''$
 $R=730.00'$
 $L=258.81'$
 $CB=N70'35'46''E$
 $CL=257.46'$

$\Delta=14'05'46''$
 $R=670.00'$
 $L=164.84'$
 $CB=N67'41'37''E$
 $CL=164.42'$

SITE PLAN
FIRST BAPTIST CHURCH CORINTH

LOT 1, BLOCK A
FIRST BAPTIST CHURCH ADDITION
E. MARSH SURVEY A-833
CITY OF CORINTH, DENTON COUNTY, TEXAS
6.389 Acres (278,306 s.f.)
PREPARED: 11/01/2016

SITE DATA SUMMARY CHART	
ZONING:	SF-4 SINGLE FAMILY RESIDENTIAL
CURRENT USE:	CHURCH
LOT AREA:	6.389 AC - 278,306 SF
BUILDING HEIGHTS (STORIES):	1 STORY
EXISTING PARKING PROVIDED:	176 SPACES
PROPOSED PARKING PROVIDED:	43 SPACES
TOTAL PARKING PROVIDED:	219 SPACES
HANDICAP PARKING REQUIRED:	7 SPACES
HANDICAP PARKING PROVIDED:	8 SPACES
LAND USE DESIGNATION:	PUBLIC/SEMI-PUBLIC
TOTAL AREA OF IMPERVIOUS COVERAGE:	182,413 SF
TOTAL % OF IMPERVIOUS COVERAGE:	182,413 / 278,306 = 66%
PROPOSED AREA OF IMPERVIOUS COVERAGE:	18,564 SF
PROPOSED % OF IMPERVIOUS COVERAGE:	18,564 / 278,306 = 6.7%

Owner:
First Baptist Church Corinth
3033 Meadow View Drive
Corinth, TX 76210
Contact: Bill Watson
Phone: 940-321-5672

Engineer:
Binkley & Barfield, Inc.
1801 Gateway Blvd., Suite 101
Richardson, Texas 75080
(972) 644-2800
Contact: Kyle Bennett

GENERAL NOTES

1. PERIMETER CONTROL POINTS AND A LOCAL BENCHMARK SHALL BE PROVIDED. ALL OTHER CONSTRUCTION STAKING SHALL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL PROTECT AND MAINTAIN CONTROL POINTS PROVIDED.
2. ALL INSPECTIONS, TESTING AND COST THEREOF WILL BE PROVIDED BY THE OWNER THROUGH AN INDEPENDENT TESTING COMPANY AND/ OR THE CITY.
3. ALL AREAS OUTSIDE OF THE PROJECT SITE WHICH ARE DISTURBED BY THE CONTRACTOR'S ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION AND SEEDED, SODDED OR REPAVED AS REQUIRED. CITY RIGHT-OF-WAY TO BE SODDED.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS AND (OR) PUBLIC/PRIVATE UTILITY COMPANIES WHICH MAY BE WORKING IN THE AREA.
5. BARRICADES AND WARNING SIGNS SHALL BE INSTALLED AS REQUIRED BY THE CITY, TxDOT, OR THE ENGINEER. CONSTRUCTION AND PLACEMENT SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. TEMPORARY JOB-SITE TRAILERS AND STORAGE AREAS MUST COMPLY WITH CURRENT CITY REQUIREMENTS AND HAVE A BUILDING PERMIT.
7. EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS SHALL BE PROTECTED OR REMOVED AS NOTED. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGES.
8. WHERE GRADE CHANGES ARE PROPOSED AT EXISTING UTILITY APPURTENANCES, CONTRACTOR SHALL ADJUST SUCH APPURTENANCES AS REQUIRED.
9. WATER FOR CONTRACTOR IS AVAILABLE ON-SITE.
10. CONTRACTOR YARD AND STORAGE AREAS MUST BE APPROVED BY THE OWNER. NO EMPLOYEE OR EQUIPMENT PARKING SHALL BE ALLOWED ANYWHERE ELSE AT ANY TIME.
11. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK.
12. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE & FEDERAL LAWS AND ORDINANCES, INCLUDING CITY OF DALLAS, CITY OF FARMERS BRANCH AND TEXAS DEPARTMENT OF TRANSPORTATION.
13. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS WHICH SHALL BE REVIEWED BY THE OWNER PRIOR TO EACH MONTHLY PAY APPLICATION REVIEW.
14. CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN PREPARED AS PART OF THIS PROJECT AND ANY OTHER CONDITIONS REQUIRED BY THE TEXAS GENERAL PERMIT, THE TCEQ, THE EPA OR THE CITY REGARDING EROSION CONTROL.
15. ALL MATERIALS USED IN CONSTRUCTION SHALL HAVE A VENDOR'S CERTIFIED TEST REPORT. SUBMITTALS SHALL BE DELIVERED TO THE ENGINEER BEFORE PERMISSION WILL BE GRANTED FOR USE OF THE MATERIAL. IN THE EVENT ADDITIONAL TESTS ARE REQUIRED, THEY SHALL BE PERFORMED BY AN APPROVED INDEPENDENT TESTING LABORATORY AND SHALL BE PAID FOR BY THE CONTRACTOR.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL ROADS AND OTHER FACILITIES USED DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT ALL EXISTING ROADS SHALL BE LEFT IN A CONDITION EQUAL TO THAT AT THE TIME THE CONTRACTOR COMMENCES WORK ON THIS PROJECT.
17. THE LOCATION AND DIMENSIONS SHOWN ON THE PLANS RELATIVE TO EXISTING UTILITIES ARE BASED ON THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT HE MAY NEGOTIATE SUCH ADJUSTMENTS AS NECESSARY IN THE CONSTRUCTION PROCESS TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL SERVICES ENCOUNTERED.
18. PER TEXAS HOUSE BILL 1569, EFFECTIVE AS OF SEPTEMBER 1, 1989, IT SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR TO PROVIDE AND MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. BID ITEMS FOR TRENCH EXCAVATION SAFETY PROTECTION SHALL BE INCLUDED IN THE PROPOSAL.
19. THE CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, INCLUDING ALL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS CONTRACT AND THE WORK TO BE DONE THEREUNDER, WHICH EXIST OR WHICH MAY BE ENACTED LATER BY GOVERNMENTAL BODIES HAVING JURISDICTION OR AUTHORITY FOR SUCH ENACTMENT.
20. ALL WORK WHICH HAS BEEN REJECTED OR CONDEMNED SHALL BE REPAIRED, OR IF IT CANNOT BE REPAIRED SATISFACTORILY, IT SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. DEFECTIVE MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE WORK SITE.
21. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE SAME FROM ANY PORTION OF THE SITE IF, IN THE OPINION OF THE OWNER, SUCH MATERIAL, DEBRIS OR RUBBISH CONSTITUTES A NUISANCE OR IS OBJECTIONABLE.
22. THE CONTRACTOR SHALL MAKE A FINAL CLEAN-UP OF ALL PARTS OF THE WORK BEFORE ACCEPTANCE BY THE DEVELOPER. THIS CLEAN-UP SHALL INCLUDE REMOVAL OF ALL OBJECTIONABLE MATERIALS AND, IN GENERAL, PREPARING THE SITE OF THE WORK IN AN ORDERLY APPEARANCE.
23. TRAFFIC CONTROL PLAN SHALL BE PROVIDED BY THE CONTRACTOR.

DRAINAGE NOTES:

1. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY & NCTCOG LATEST EDITION AND SHALL COORDINATE WITH SAME WHEN CONNECTING TO THEIR SYSTEMS.
2. EXISTING STORM SEWER AND UTILITY DATA IS PROVIDED FOR INFORMATION ONLY FROM THE BEST AVAILABLE PLAN RECORDS. CONTRACTOR SHALL VERIFY THEIR LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS REQUIRED TO EXISTING UTILITIES DUE TO HIS ACTIVITIES.
4. CONTRACTOR SHALL COMPLY WITH TEXAS HOUSE BILL 1569 AND PROVIDE HIS OWN TRENCH SAFETY SYSTEM DESIGN.
5. ALL STORM SEWER PIPE SHALL BE AS FOLLOWS:
DIAMETER < 15" PVC OR ADS D-12
DIAMETER > 15" RCP ASTM C-76, CLASS III
6. CONCRETE PIPE JOINTS TO BE SEALED WITH RAMNECK OR EQUAL.
7. ALL CONNECTIONS SHALL BE WATERTIGHT. GROUT CONNECTIONS AT STRUCTURES.
8. STORM SEWER INLETS MAY BE PRE-CAST OR CAST-IN-PLACE. THROAT DEPTHS AND OPENINGS SHALL MEET CITY STANDARDS
9. ADJUST ALL APPURTENANCES (INLETS, MANHOLES, CLEANOUTS, ETC.) TO FINAL GRADE.
10. SUBMITTALS REQUIRED FOR ALL ON SITE INLETS.

GRADING NOTES

1. INSTALL SILT FENCE AND PROVIDE ON-GOING MAINTENANCE.
2. MAINTAIN AND PROTECT TOPSOIL STOCKPILE.
3. ALL GRADE TOLERANCES 0.1 FOOT.
4. PERFORM ADDITIONAL FINE GRADING AROUND PAVING AND FOUNDATIONS AS REQUIRED TO MEET FINISHED GRADES INDICATED ON THE PLANS.
5. PLACE TOPSOIL IN LANDSCAPE ISLANDS (4-INCH MINIMUM DEPTH).
6. FINE GRADE INTERIOR LANDSCAPE AREAS TO PROVIDE SMOOTH FINISH AND POSITIVE DRAINAGE.
7. REGRADE PERIMETER LANDSCAPE AREAS AS NECESSARY.
8. EXCESS EXCAVATION SHALL BE REMOVED FROM THE SITE.
9. ALL FILL TO BE COMPACTED TO A MIN 95% USING SHEEPS FOOT ROLLER.

PAVING NOTES

1. ALL WORK SHALL CONFORM TO THESE PLANS AND CONTRACT DOCUMENTS AND TO THE 3rd EDITION OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (COG) AS AMENDED BY THE CONTRACT DOCUMENTS AND THE CITY.
2. ALL CURB RADII ARE AS SHOWN ON THE PLANS OR TYPICAL DETAILS.
3. BOUNDARY MONUMENTS HAVE BEEN SET BY OTHERS. CONTRACTOR SHALL VERIFY THEIR EXISTENCE AND ACCURACY PRIOR TO CONSTRUCTION. ADVISE THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL PROVIDE ALL STAKING.
5. COORDINATES MAY BE PROVIDED TO ASSIST THE CONTRACTOR AND HIS SURVEYOR. SHOULD ANY DISCREPANCY ARISE BETWEEN THE COORDINATES AND THE INTENT OF THE LAYOUT OR PLAN, CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER. VERIFY THAT COORDINATES AND DIMENSIONS MATCH DURING LAYOUT PRIOR TO CONSTRUCTION.
6. PAVEMENT STRENGTH, THICKNESS AND REINFORCING SHALL MEET OR EXCEED THE PLAN AND DETAILS.
7. PRIVATE PAVEMENT SUBGRADE SHALL BE PROOF-ROLLED AND ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED AND RECOMPACTED PRIOR TO PAVING. SUBGRADE SHALL CONFORM TO THESE PLANS AND THE GEOTECHNICAL RECOMMENDATIONS PRIOR TO PAVING.
8. WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, PROVIDE MACHINE DRILLED AND EPOXY SET #5 BARS ON 24-INCH CENTERS, MINIMUM 12" PENETRATION, 24-INCHES LONG.
9. SAWCUT NEW PAVEMENT AS SOON AS PRACTICAL WHEN CONCRETE CAN SUPPORT EQUIPMENT AND PROVIDE A NEAT AND TRUE CUT.
10. ALL JOINTS SHALL BE CONTINUOUS THROUGH THE CURB.
11. SAW ALL CONSTRUCTION JOINTS, CLEAN AND IMMEDIATELY SEAL.
12. SEE ADDITIONAL CITY STANDARD DETAILS AND NOTES & NCTCOG 3rd EDITION.
13. CITY STANDARDS SHALL GOVERN FOR SIDEWALK PAVING IN PUBLIC RIGHT-OF-WAY.
14. PAVEMENT SAWN JOINTS SHALL BE AT 12' MAX. INTERVALS.
15. EXPANSION JOINTS SHALL BE AT 100' MAX. INTERVALS AND AT INTERSECTIONS.
16. CONTRACTOR SHALL SEAL ALL EXPANSION JOINTS.
17. NO SAND UNDER PAVING.

CIVIL SITE WORK SPECIFICATIONS:

ALL MATERIALS AND CONSTRUCTION METHODS FOR THIS PROJECT SHALL CONFORM WITH THE DETAILS AND GENERAL NOTES INCLUDED IN THESE PLANS AND

1. NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, FOURTH EDITION (OCTOBER 2004);
2. NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION;

N:\BC16041_Corinth First Baptist Church Parking Expansion\05_CAD Files\BC16041-COVER.dwg--Con-Plotted-Apr-11-2017 at 10:10am by emulrey. [Last Saved by: emulrey]

Rev	Date	Description

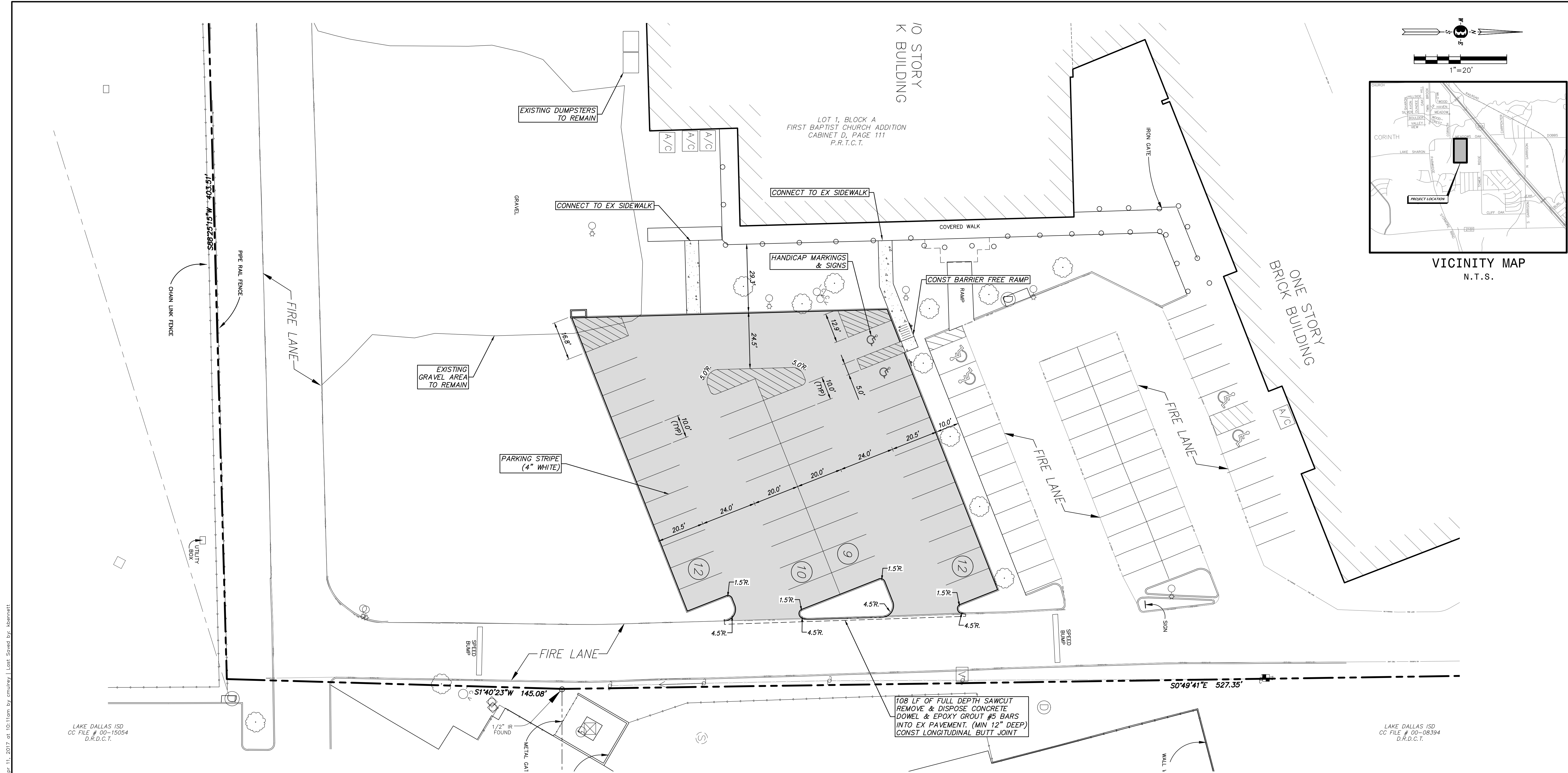
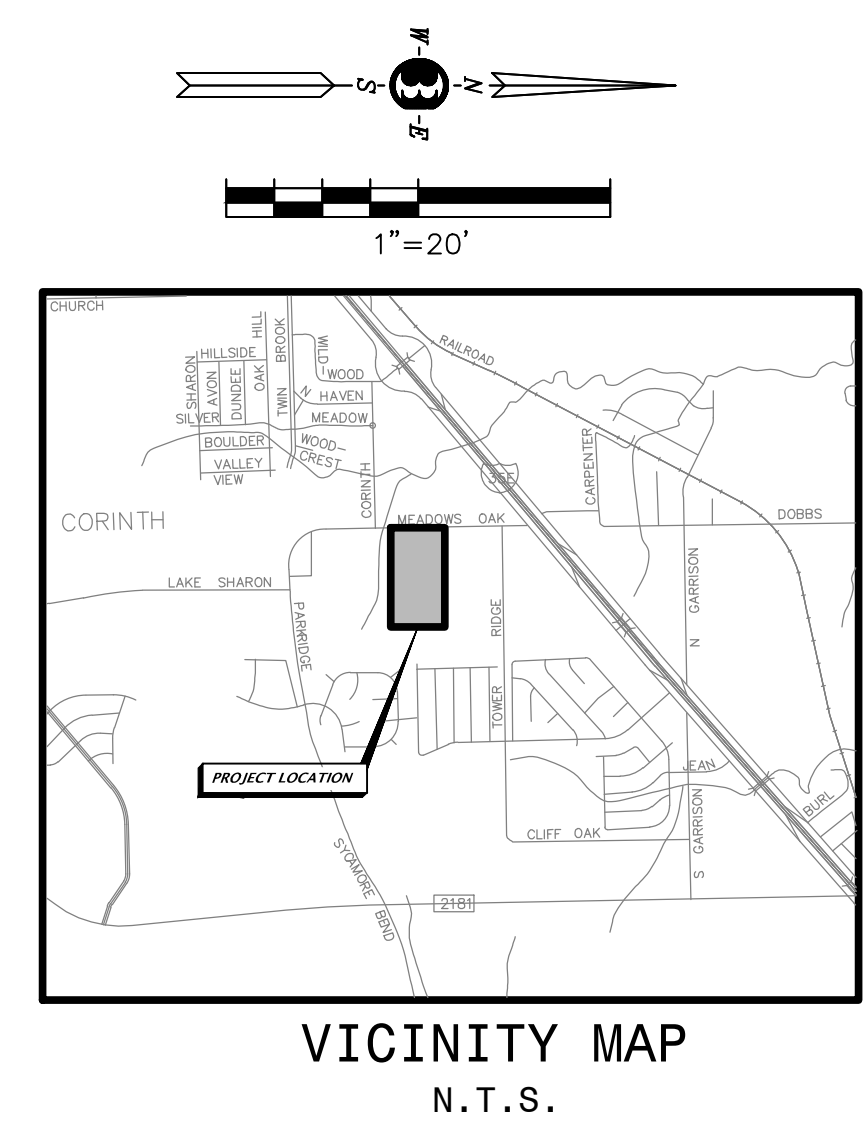
BENCHMARK
A square cut in concrete curb on East side of 1st Baptist Church of Corinth parking lot, at the end of the curb. North 18,606.40 East 20,036.11 Elevation 617.24

OWNER
First Baptist Church Corinth 3033 Meadow View Drive Corinth, TX 76210 Contact: Bill Watson Phone: 940-321-5672 Email: bill.watson@fbccorinth.org

The seal appearing on this document was authorized by Kyle A. Bennett, P.E., Tx No: 98627. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act. April 11, 2017

Binkley & Barfield, Inc.
consulting engineers
Texas Registration Number F-257
1801 Gateway Blvd., Suite 101 Richardson, Texas 75080 www.binkleybarfield.com
Phone (972) 644-2800 Fax (972) 644-2817

GENERAL NOTES FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale:	Date:	Job No.:	C2
N.T.S.	04/11/2017	BC16041	



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 LAKE DALLAS ISD
 CC FILE # 00-15054
 D.R.D.C.T.

Rev	Date	Description

BENCHMARK

A square cut in concrete curb on East side of 1st Baptist Church of Corinth parking lot, at the end of the curb.
 North 18,606.40
 East 20,036.11
 Elevation 617.24

OWNER

First Baptist Church Corinth
 3033 Meadow View Drive
 Corinth, TX 76210
 Contact: Bill Watson
 Phone: 940-321-5672
 Email: bill.watson@fbccorinth.org

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 Kyle A. Bennett, P.E., Tx No: 98627. Alteration of a
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 responsible engineer is an offense under the Texas
 Engineering Practice Act. April 11, 2017

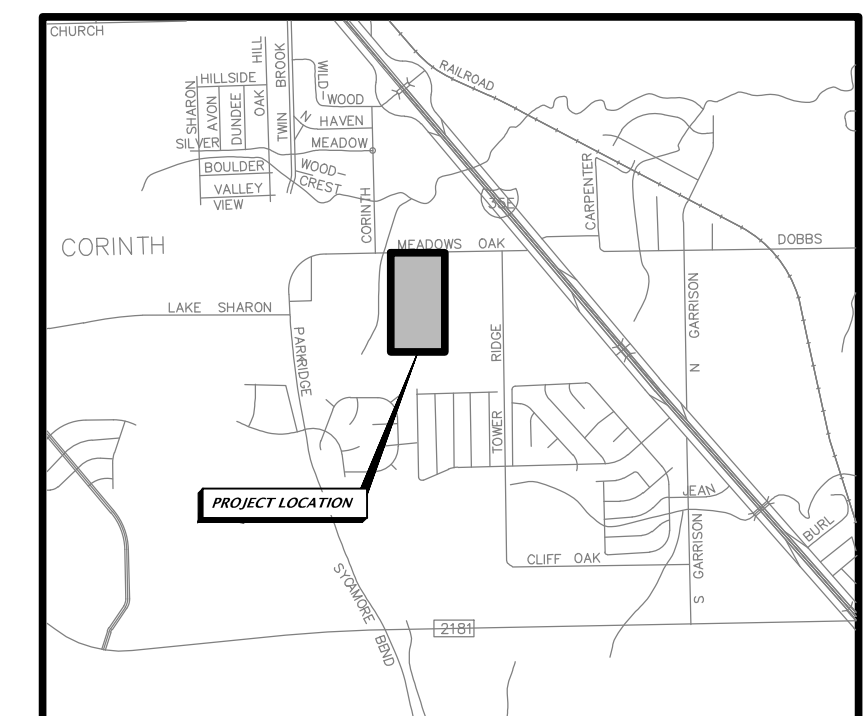
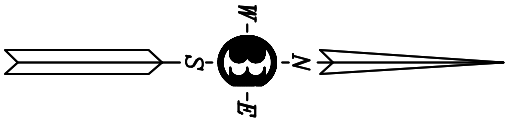
Binkley & Barfield, Inc.
 consulting engineers
 Texas Registration Number F-257
 1801 Gateway Blvd., Suite 101 Richardson, Texas 75080 www.binkleybarfield.com
 Phone (972) 644-2800 Fax (972) 644-2817

PAVING & DIMENSION CONTROL PLAN
 FIRST BAPTIST CHURCH CORINTH
 CORINTH, TEXAS

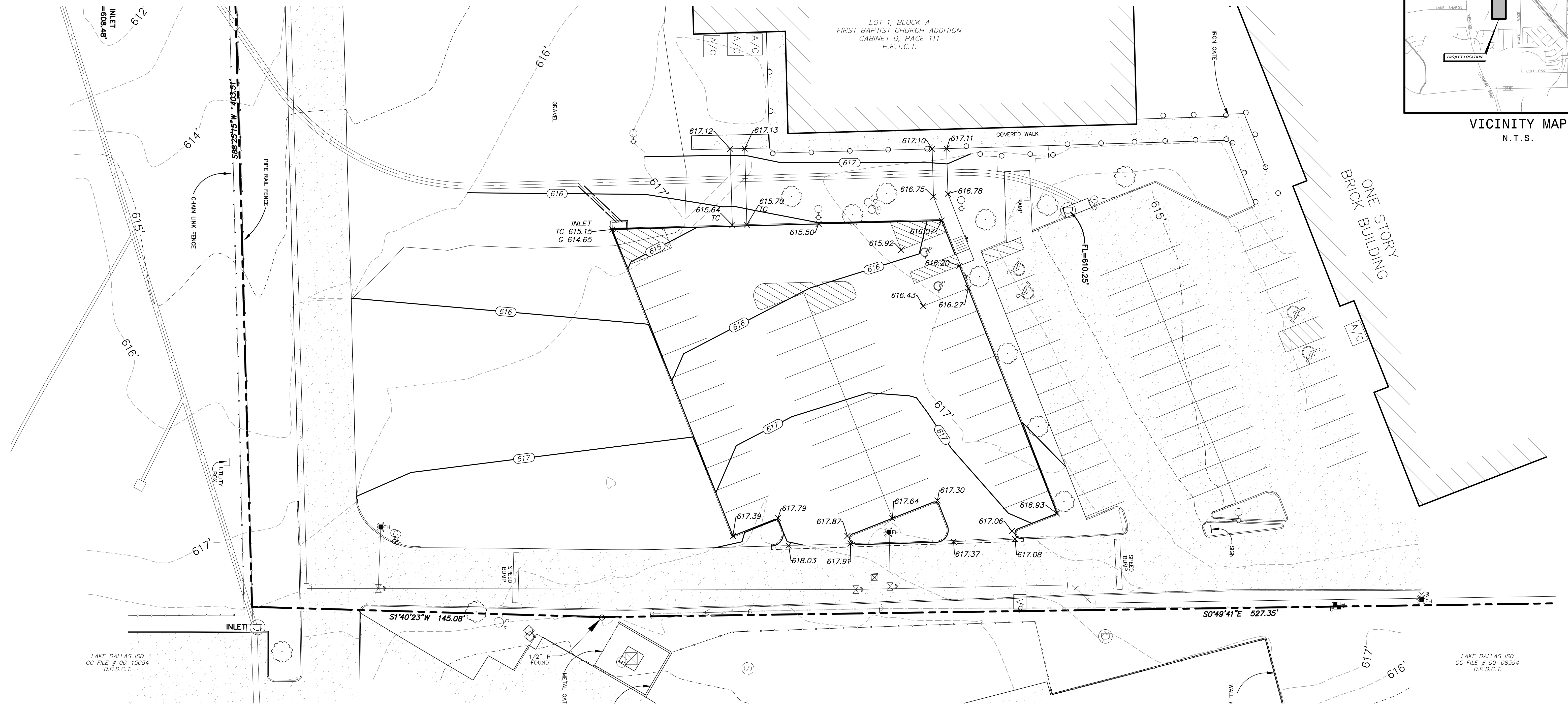
Scale: 1" = 20' Date: 04/11/2017 Job No.: BC16041 **C3**

CAUTION!

THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.



VICINITY MAP
N.T.S.



NOTES

- ALL SPOT GRADES ARE FOR PROPOSED EDGE OF PAVEMENT OR GUTTER ELEVATIONS, UNLESS INDICATED OTHERWISE.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC WITHIN THE AREA OF CONSTRUCTION. THEY MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PAVING AND GRADING.
- SIDEWALKS SHALL HAVE A LONGITUDINAL SLOPE NO GREATER THAN 5% AND A CROSS SLOPE NOT GREATER THAN 2%, UNLESS OTHERWISE NOTED.

LEGEND

- 460.00 = TOP OF PROP P/MT
- FF=460.00 = PROP FINISHED FLOOR ELEV
- TG 460.00 = TOP OF GRATE ELEV
- 610--- = EXISTING CONTOUR
- 610 = PROPOSED CONTOUR

R:\BC16041_Corinth First Baptist Church Parking Expansion\05_CAD Files\BC16041-GRD.dwg-GRD Plotted Apr 11, 2017 at 10:12am by cmurety | Last Saved by cmurety

Rev	Date	Description

BENCHMARK

A square cut in concrete curb on East side of 1st Baptist Church of Corinth parking lot, at the end of the curb.
North 18,606.40
East 20,036.11
Elevation 617.24

OWNER

First Baptist Church Corinth
3033 Meadow View Drive
Corinth, TX 76210
Contact: Bill Watson
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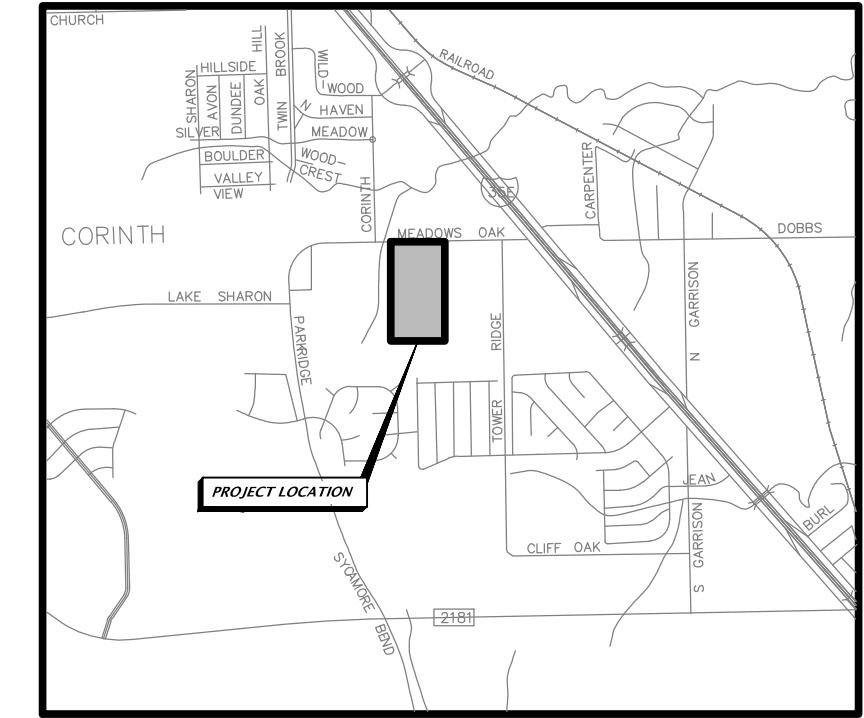
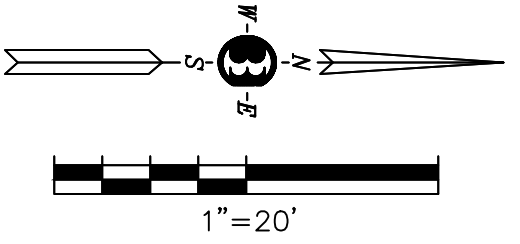
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GRADING PLAN
FIRST BAPTIST CHURCH CORINTH
CORINTH, TEXAS

Scale: 1" = 20'
Date: 04/11/2017
Job No.: BC16041
C4

CAUTION!

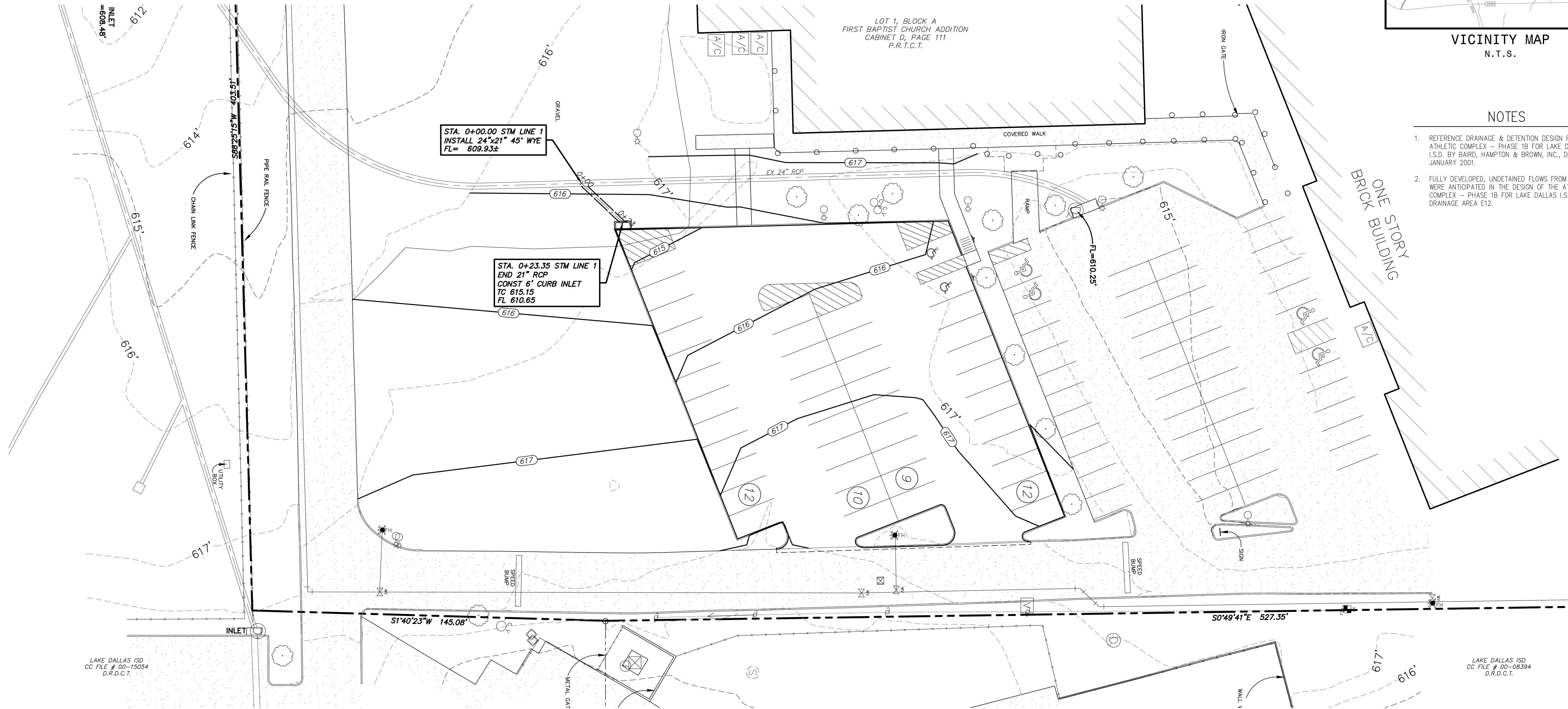
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VICINITY MAP
N.T.S.

NOTES

1. REFERENCE DRAINAGE & DETENTION DESIGN FOR THE ATHLETIC COMPLEX - PHASE 1B FOR LAKE DALLAS I.S.D. BY BAIRD, HAMPTON & BROWN, INC., DATED JANUARY 2001.
2. FULLY DEVELOPED, UNDETAINED FLOWS FROM THIS SITE WERE ANTICIPATED IN THE DESIGN OF THE ATHLETIC COMPLEX - PHASE 1B FOR LAKE DALLAS I.S.D. SEE DRAINAGE AREA E12.



LAKE DALLAS ISD
CC FILE # 00-15054
D.R.D.C.T.

LAKE DALLAS ISD
CC FILE # 00-08394
D.R.D.C.T.

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Rev	Date	Description

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North 18,606.40	
East 20,036.11	
Elevation 617.24	

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3033 Meadow View Drive	
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Contact: Bill Watson	
Phone: 940-321-5672	
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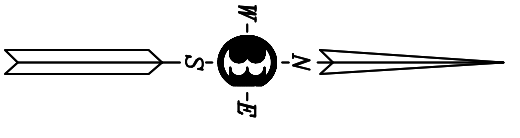
UTILITY PLAN FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale: 1" = 20'	Date: 04/11/2017	Job No.: BC16041	C5

CAUTION!

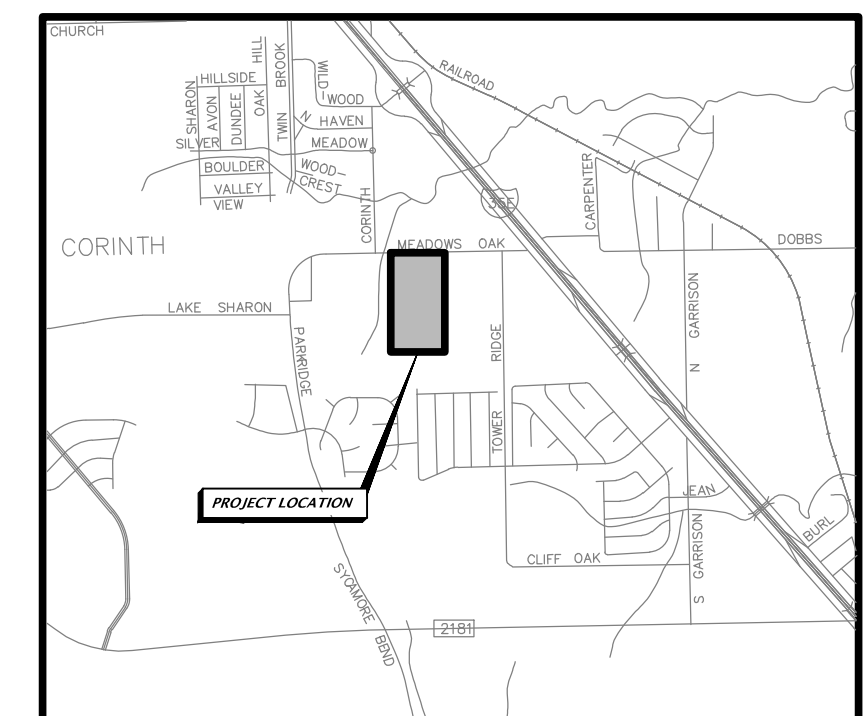
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LEGEND

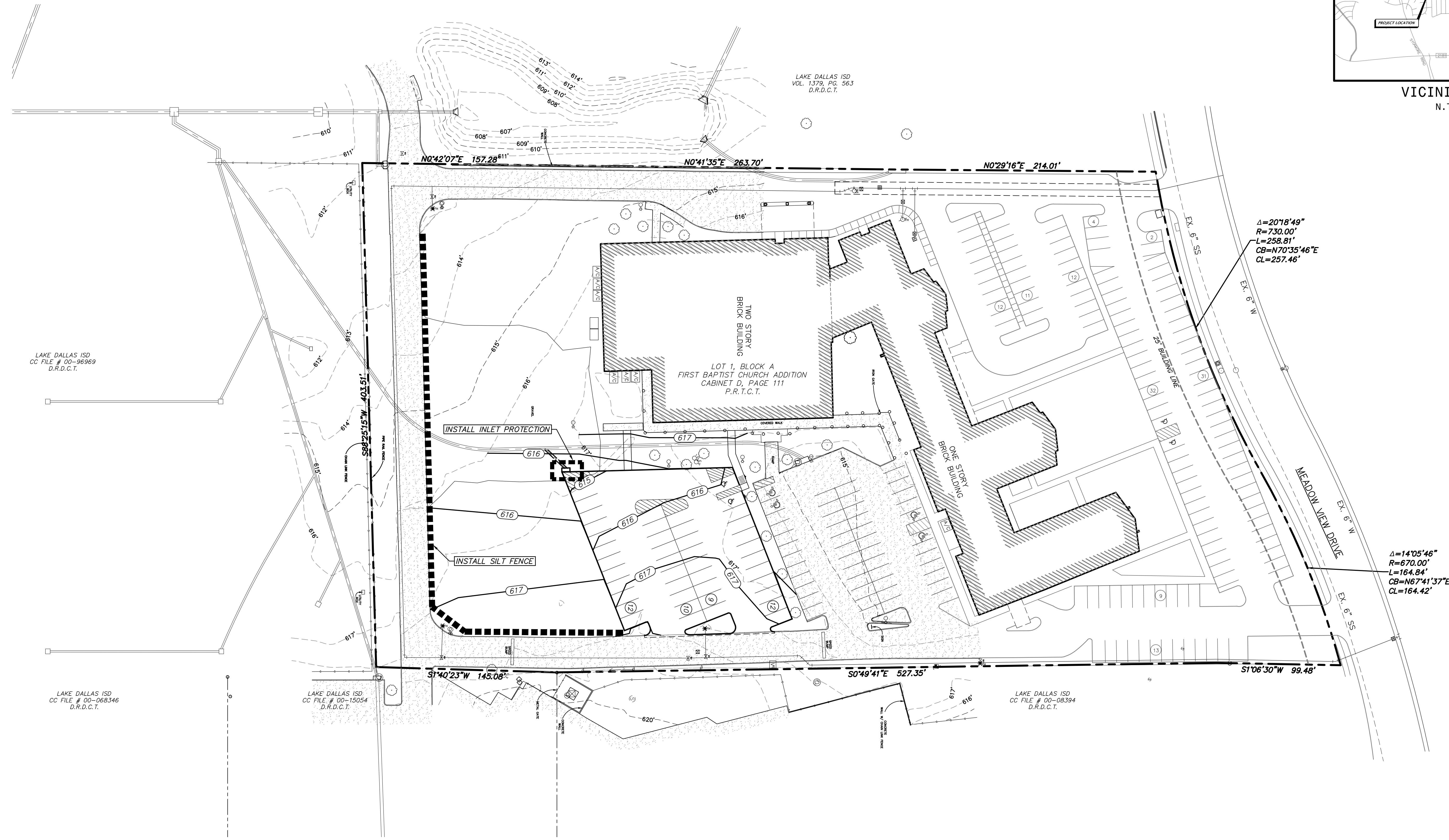
- EXISTING CONTOURS
- PROP. CONTOURS
- 20' STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION
- SILT FENCE
- FLOW ARROW
- PROPOSED STORM SEWER
- CONCRETE WASHOUT AREA 10 MIL. LINER WITH BERM AROUND



1" = 20'



VICINITY MAP
N.T.S.



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Rev	Date	Description

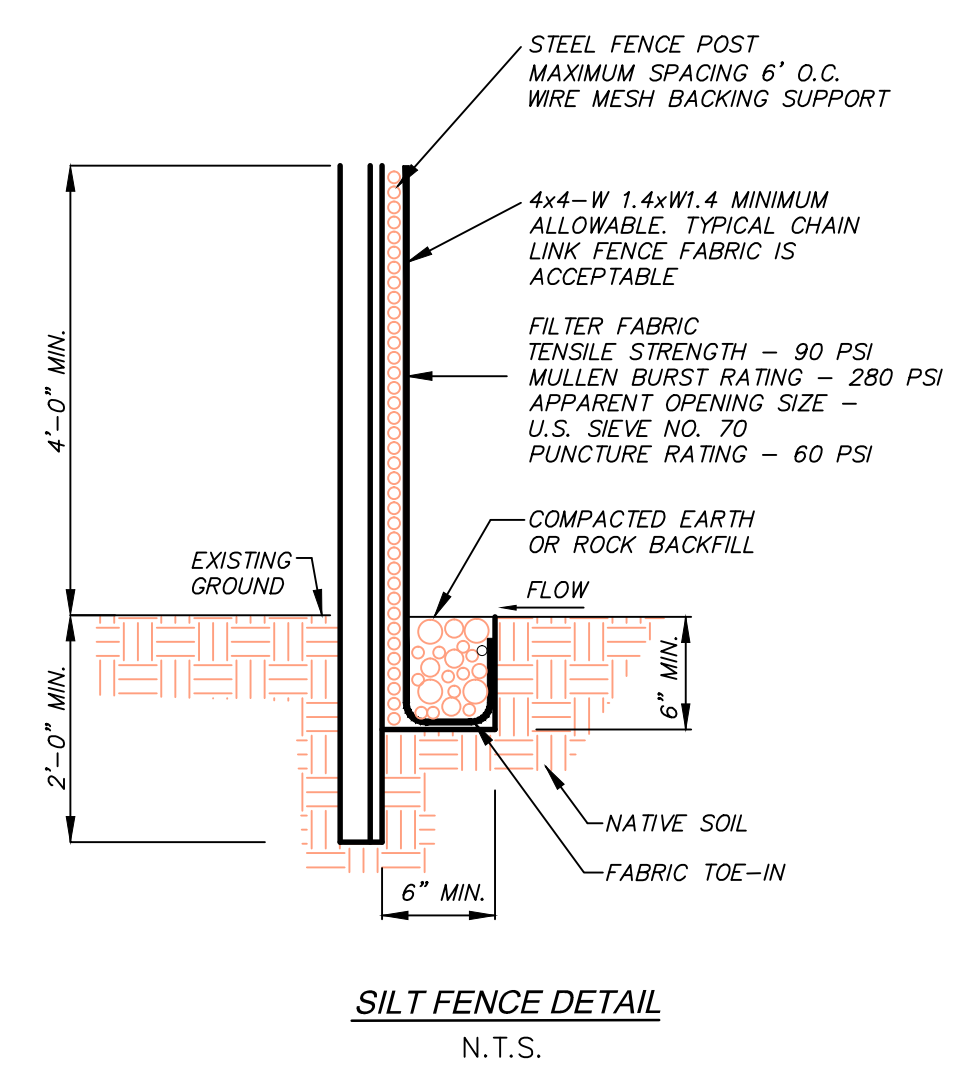
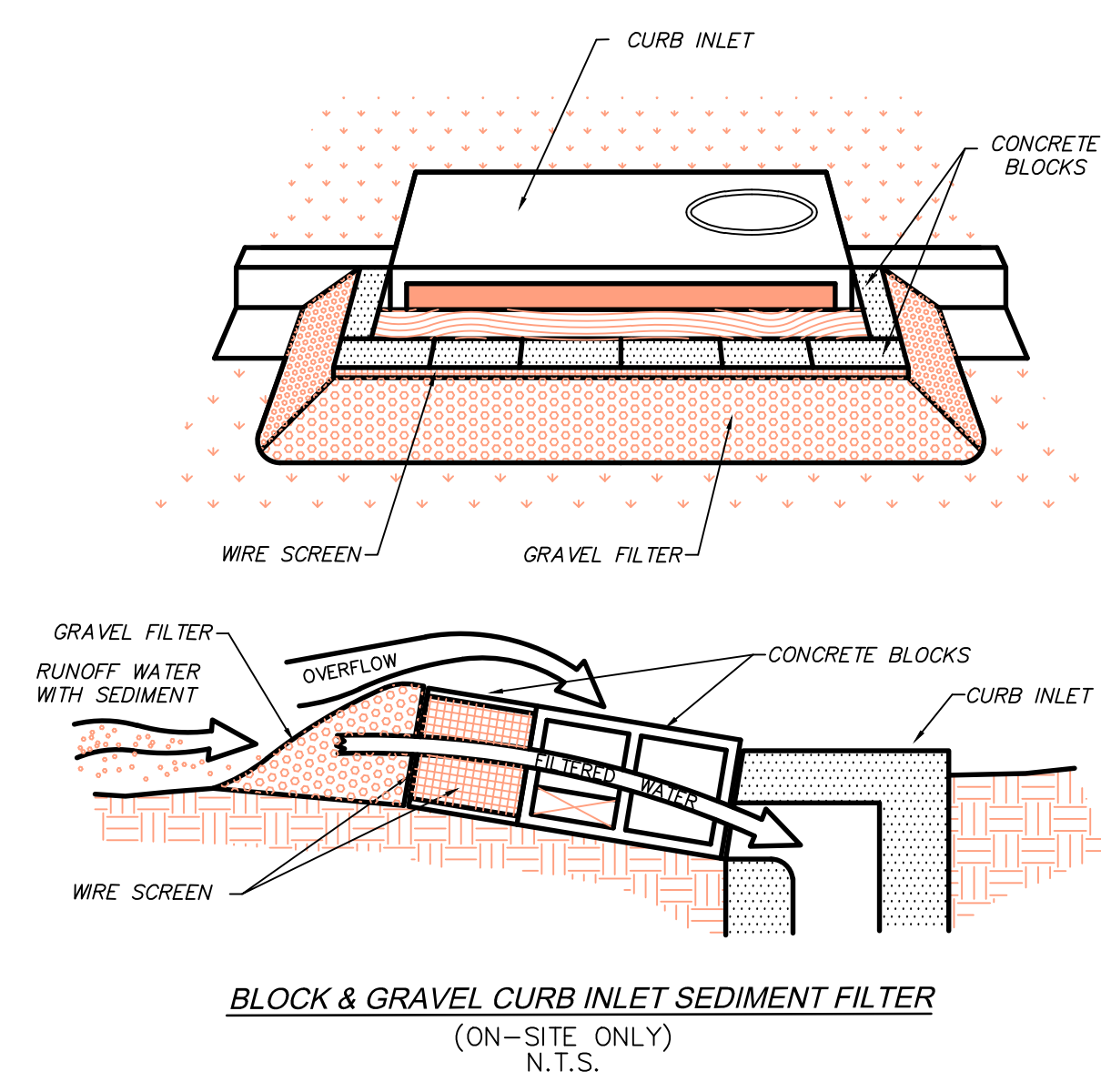
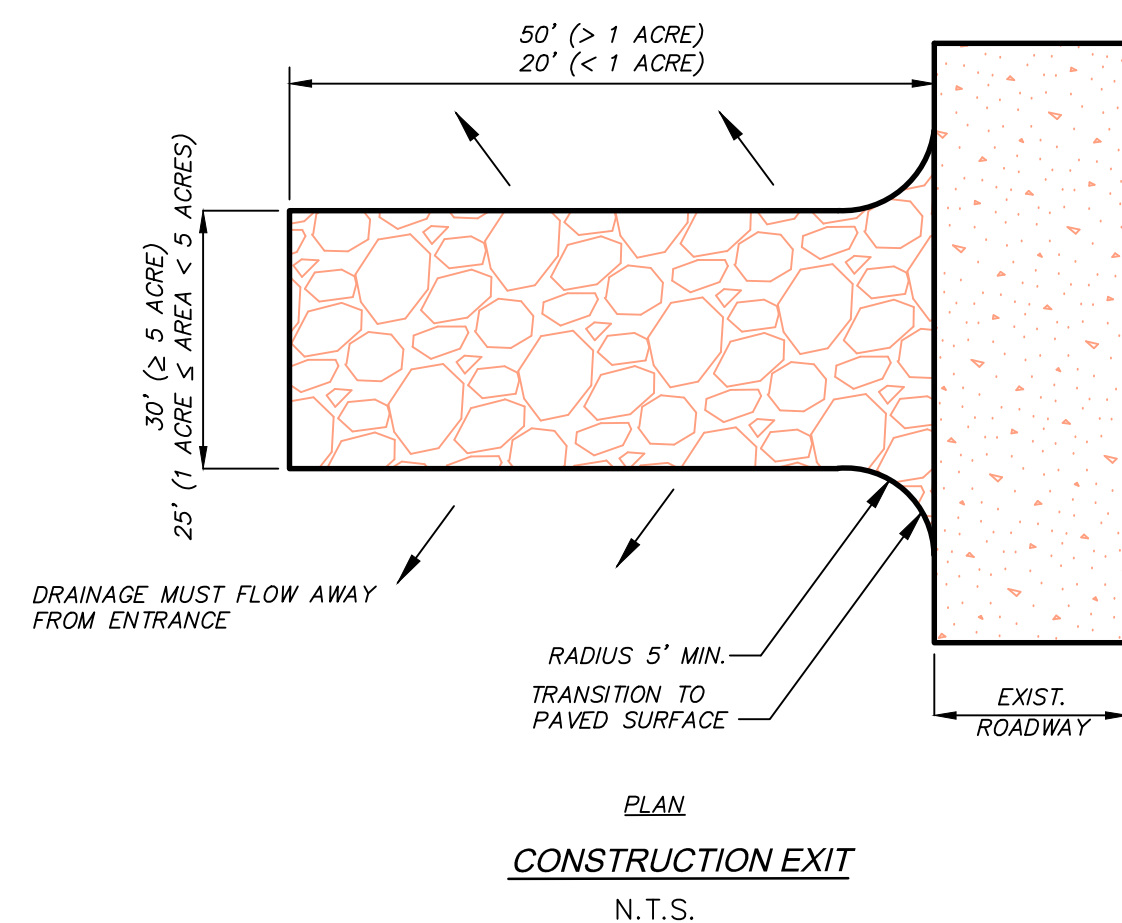
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EROSION CONTROL PLAN FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale: 1" = 20'	Date: 04/11/2017	Job No.: BC16041	C6



STABILIZED CONSTRUCTION EXIT

- STONE SIZE - 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
- LENGTH-AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS-NOT LESS THAN 6 INCHES.
- WIDTH-NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING-WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
- MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
- DRAINAGE-ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

EROSION CONTROL GENERAL NOTES

- TEMPORARY EROSION CONTROL MEASURES SHALL COMPLY WITH COG SPECIFICATION ITEM 3.12 "TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL" COG C.O.P. EROSION CONTROL MANUAL & BEST MANAGEMENT PRACTICES.
- ALL TEMPORARY EROSION CONTROL DEVICES AND MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
- ALL CONTRACTORS SHALL MINIMIZE THE GENERATION OF DUST BY WATERING THEIR WORKING AREAS AND HAUL ROADS AS REQUIRED.
- CONCRETE WASHOUT SHALL BE SIZED TO PROVIDE A MINIMUM OF 6 CUBIC FEET OF CONTAINMENT AREA VOLUME FOR EVERY 10 CUBIC YARDS OF CONCRETE POURED.
- NO STEEL POSTS IN CITY R.O.W.
- GRATE INLETS, WYE INLETS AND CURB INLETS SHALL HAVE INLET PROTECTION ADDED UPON COMPLETION.

SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

MAINTENANCE

THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE

- STEEL POST WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G.PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

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Rev	Date	Description

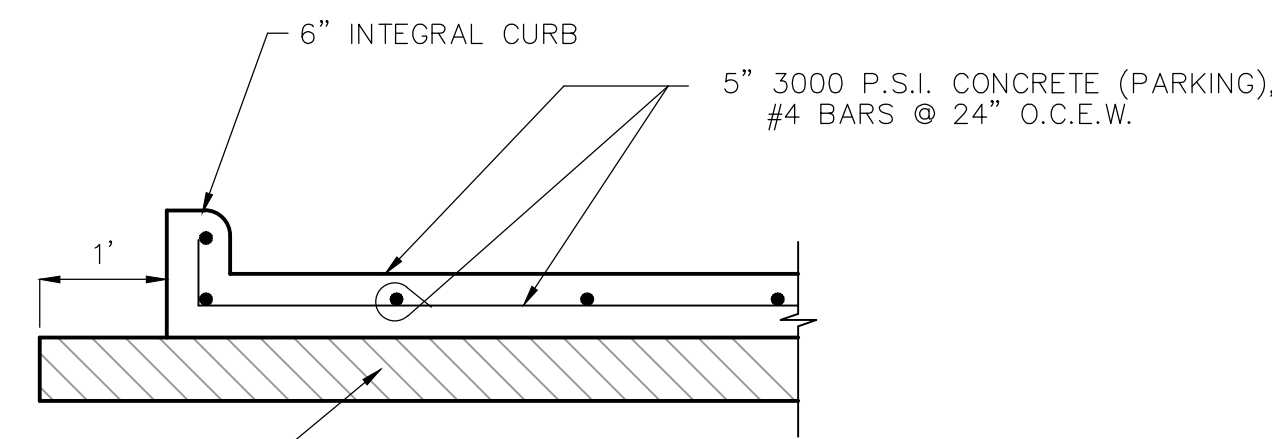
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EROSION CONTROL DETAILS FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale:	Date:	Job No.:	C7
1" = 40'	04/11/2017	BC16041	

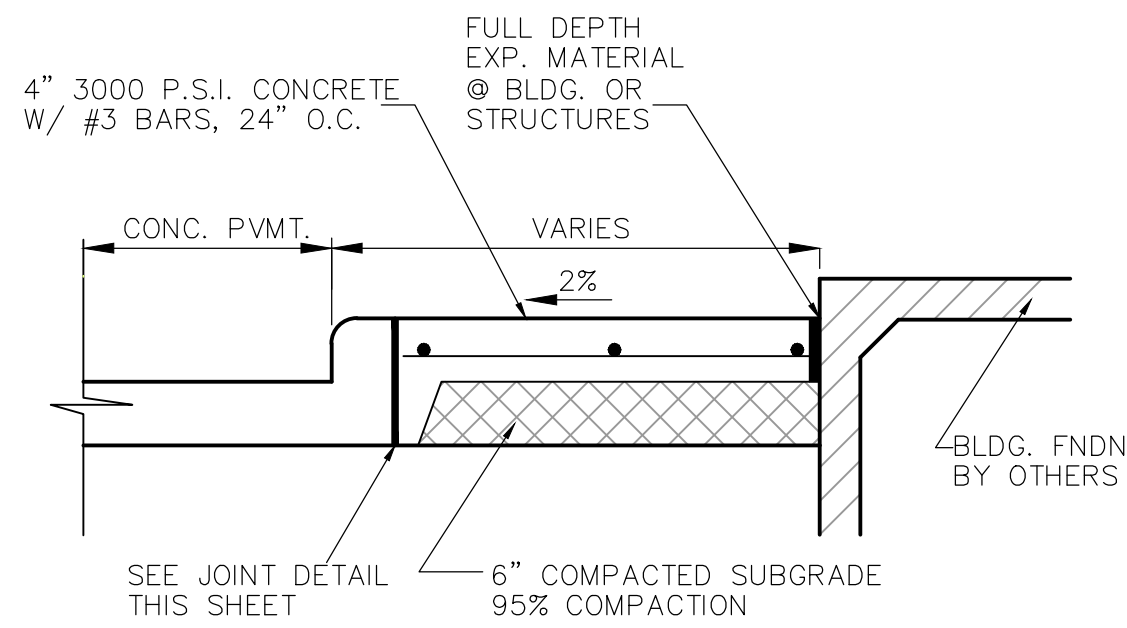


6" LIME STABILIZED SUBGRADED SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY DEFINED BY STANDARD PROCTOR (ASTM D698), AT OR ABOVE OPTIMUM MOISTURE. (6% LIME BY WEIGHT)

NOTE: GEOTECHNICAL REPORT WAS NOT PERFORMED FOR THIS PROJECT. SUBGRADE & PAVING RECOMMENDATIONS USED ARE PER THE ENGINEERING DESIGN OF THE ADJACENT SCHOOL SITE. (LAKE DALLAS HIGH SCHOOL ADDITIONS BY BAIRD, HAMPTON & BROWN, INC., DATED AUGUST 2007.)

ON-SITE CONCRETE PAVEMENT SECTION

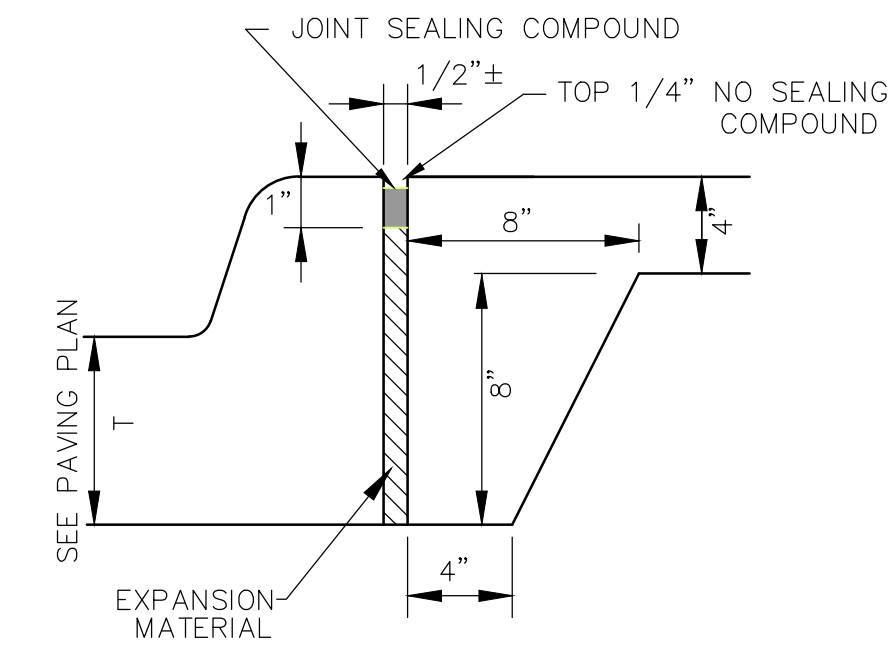
N.T.S.



GROOVED CONTROL JOINTS @ 5' MAX. SPACING, EXP. JOINTS @ 48' MAX. SPACING AND @ INTERSECTIONS.

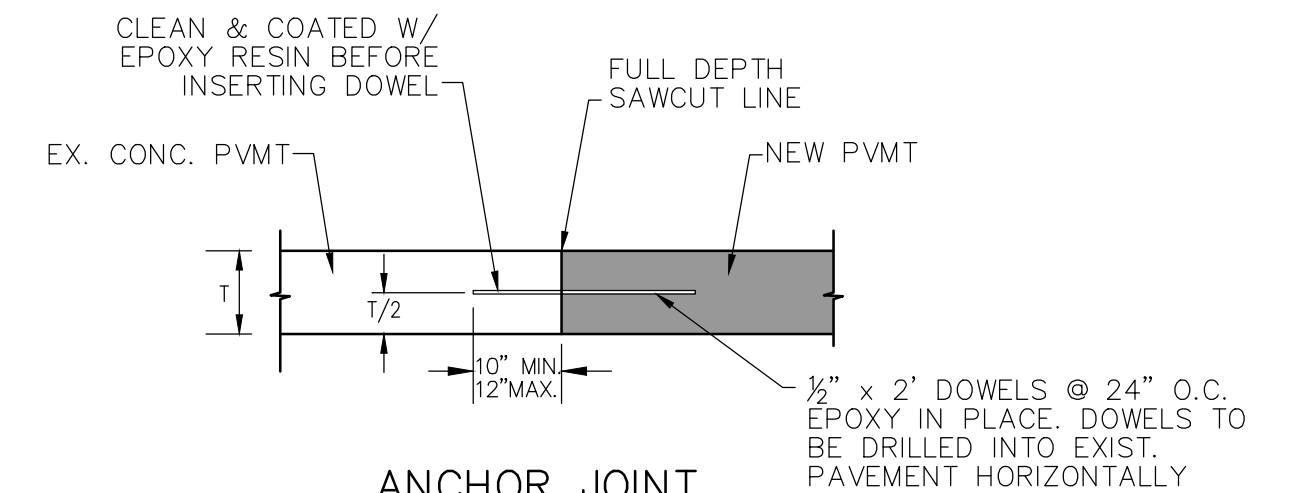
SIDEWALK SECTION

N.T.S.



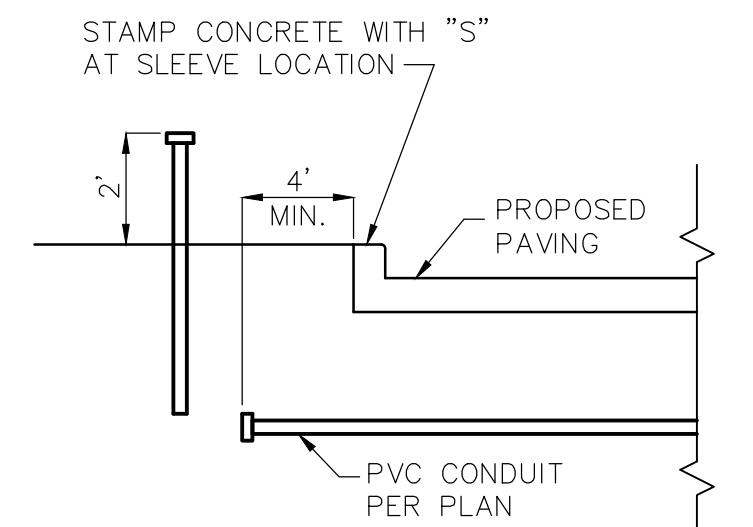
SIDEWALK / CURB JOINT DETAIL

N.T.S.



ANCHOR JOINT DOWEL-ON DETAIL

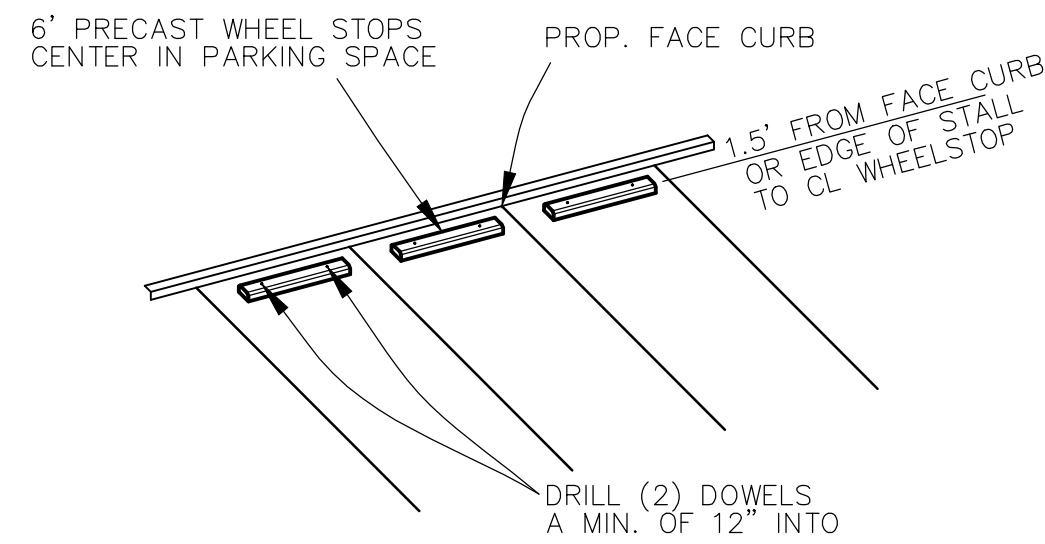
N.T.S.



NOTE: DO NOT GLUE CAP. INSTALL A PULL CORD IN EACH SLEEVE. ALL PIPE SHALL BE SCH. 40 P.V.C. SLEEVES SHALL HAVE A MINIMUM COVER OF 30 INCHES.

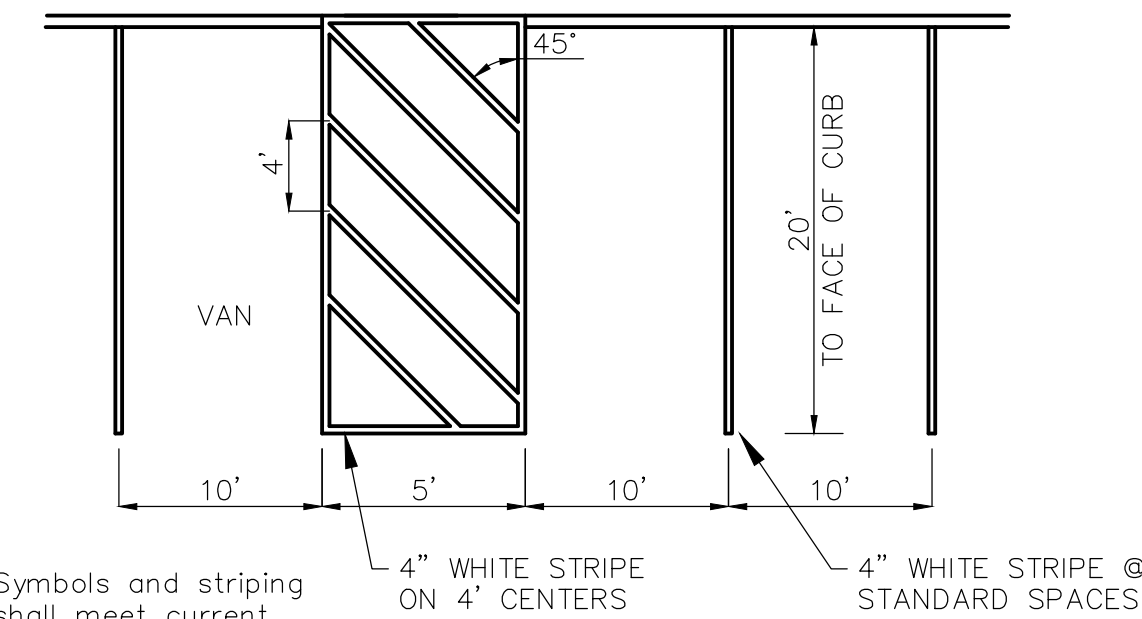
SLEEVE DETAIL

N.T.S.



TYPICAL WHEELSTOP DETAIL

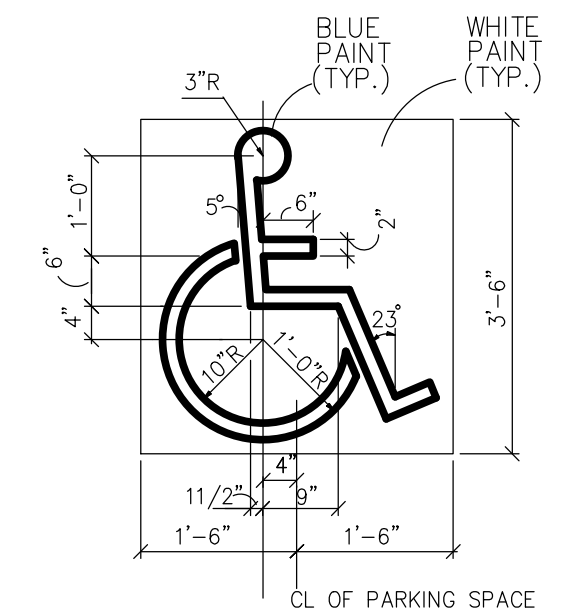
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Symbols and striping shall meet current TDLR standards.

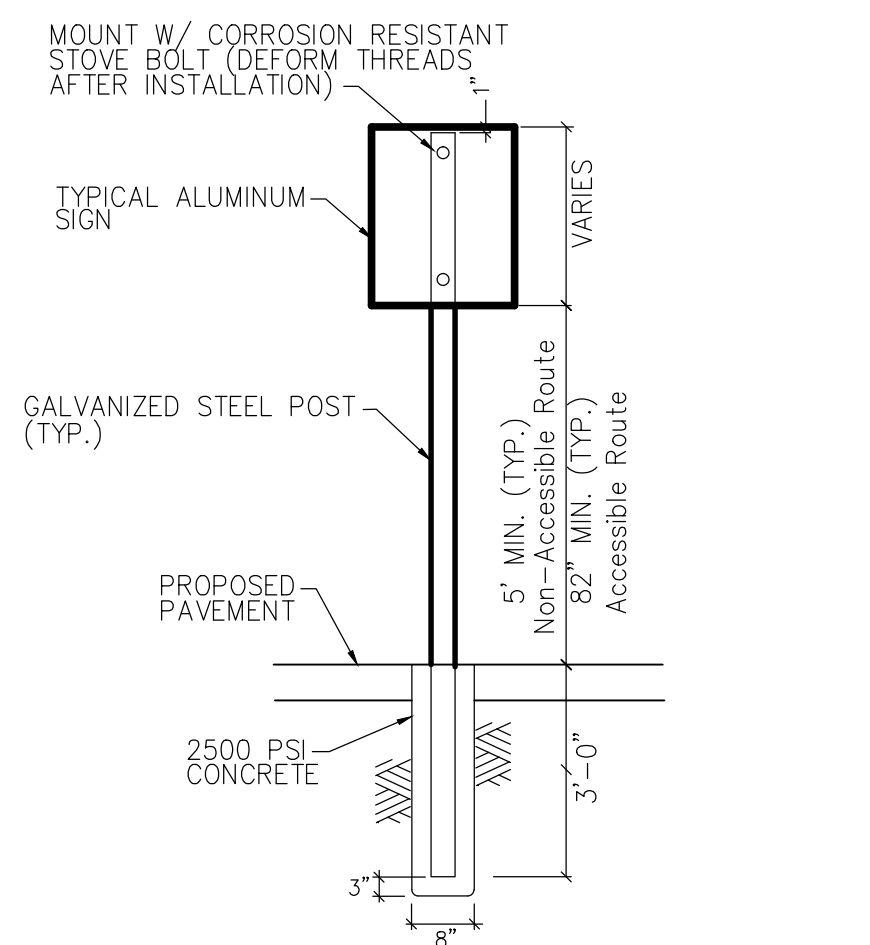
TYPICAL STRIPING PLAN

N.T.S.



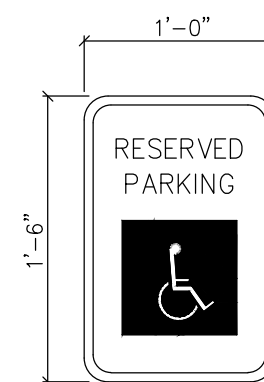
HANDICAP PARKING SYMBOL DETAIL

N.T.S.



TYPICAL SIGNAGE MOUNTING DETAIL

N.T.S.

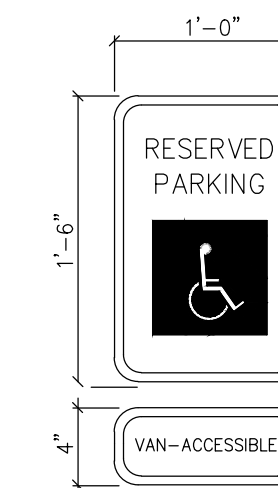


NOTES:
1. SPACING BETWEEN LETTERS, COLORS, AND PROCESSES SHALL CONFORM STANDARD HIGHWAY AND SIGN DESIGNS FOR TEXAS.
2. INSTALL WHERE INDICATED ON PLANS.
3. VAN-ACCESSIBLE SIGNAGE ON VAN SPACES ONLY.

TYPICAL SIGNAGE DETAIL

TYPE I

N.T.S.



NOTES:
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TYPICAL SIGNAGE DETAIL

TYPE II

N.T.S.

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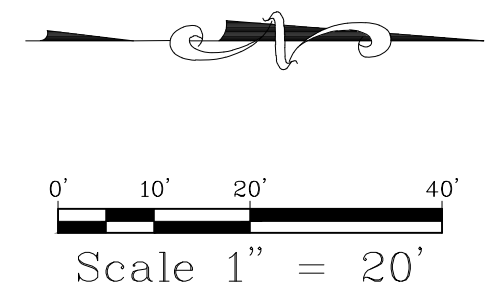
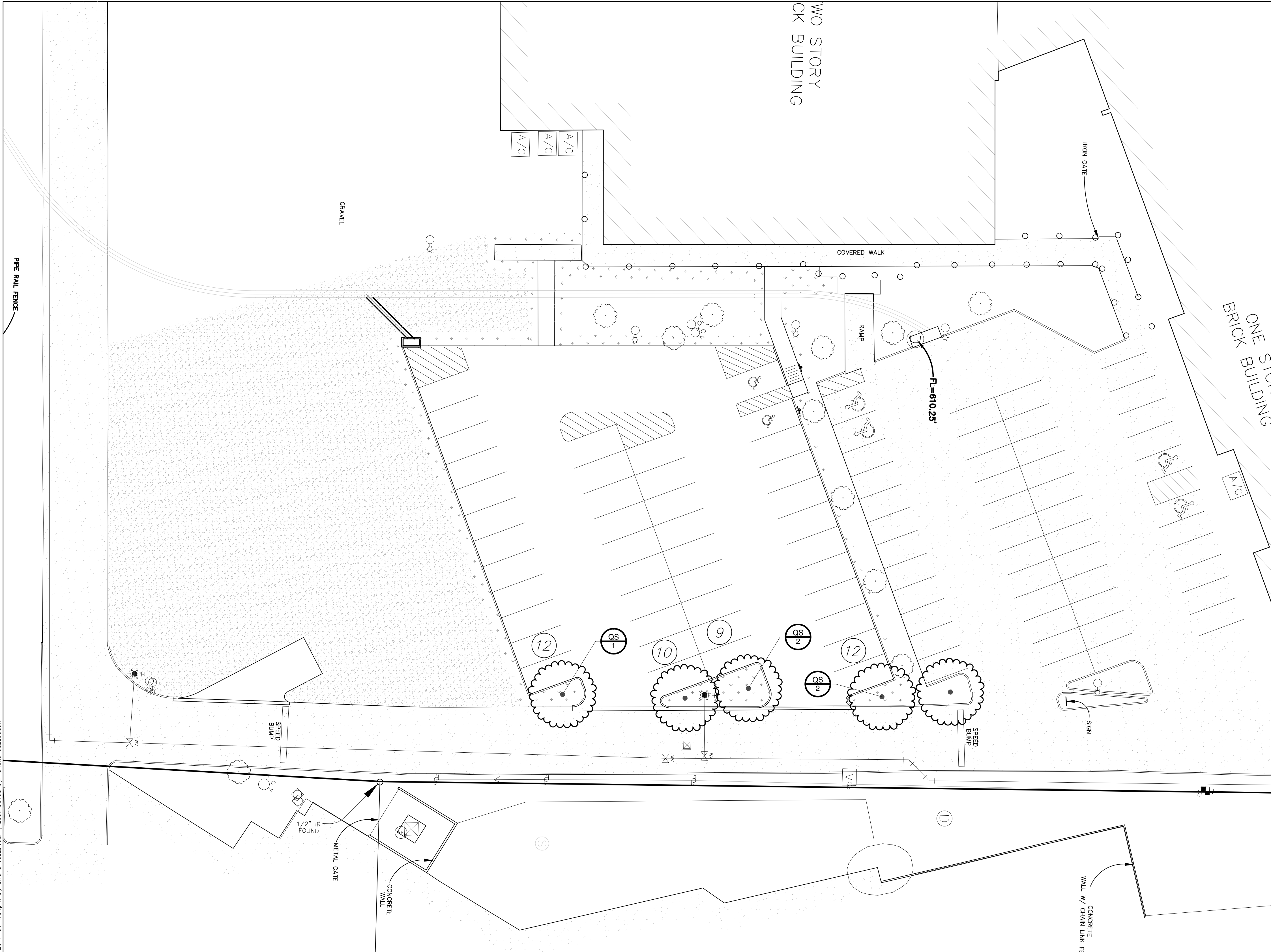
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CIVIL DETAILS FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale: 1" = 30'	Date: 04/11/2017	Job No.: BC16041	C8



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	QS	Quercus shumardii / Shumard Red Oak	B & B	3"Cal	10'-12'	5

GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	HY	Cynodon dactylon / Common Bermuda Grass	hydromulch		19,138 sf
	BS	Cynodon dactylon / Bermuda Grass	sod		3,288 sf

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DOWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING.
- HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDED OR RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

INTERIOR PARKING	10 SF OF INTERIOR LANDSCAPE PER PARKING STALL	43 PARKING SPACES x 10 SF = 430 SF OF LANDSCAPE AREA	1,246 SF OF LANDSCAPE AREA PROVIDED
LOT LANDSCAPING	1 3" CAL. SHADE OR ORNAMENTAL TREE PER EVERY 10 SPACED	43 PARKING SPACES / 10 = 5 TREES	5 3" CAL PARKING LOT TREES PROVIDED

GENERAL NOTES

- PROPOSED PARKING LOT IS MORE 50 FEET FROM ALL ADJACENT RIGHT OF WAYS.
- PROPOSED PARKING LOT IS NOT ADJACENT TO ANY RESIDENTIAL AREAS.
- AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED, AND FUNCTIONAL PRIOR TO THE APPROVAL OF THE CERTIFICATE OF OCCUPANCY.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIALS.
- THERE ARE NO EXISTING TREES WITHIN THE CONSTRUCTION AREA FOR THE PROPOSED PARKING LOT.
- ALL TREES NEAR THE PROPOSED PARKING AREA WILL BE SAVED AND WILL BE PROTECTED FROM CONSTRUCTION ACTIVITY.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

NOTE: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.



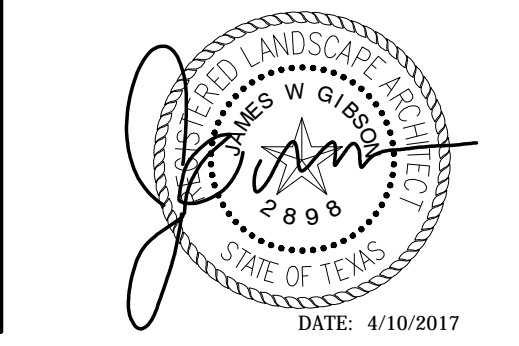
Rev	Date	Description

BENCHMARK
A square cut in concrete curb on East side of 1st Baptist Church of Corinth parking lot, at the end of the curb. North 18,606.40 East 20,036.11 Elevation 617.24

OWNER
First Baptist Church Corinth 3033 Meadow View Drive Corinth, TX 76210 Contact: Bill Watson Phone: 940-321-5672 Email: bill.watson@fbccorinth.org

This document is released for the purpose of interim review under the authority of: Kyle A. Bennett, P.E.,
Tx No: 98627 Binkley & Barfield, Inc. #F-257. Not for regulatory approval, permitting, or construction.

Binkley & Barfield, Inc.
consulting engineers
Texas Registration Number F-257
1801 Gateway Blvd., Suite 101 Richardson, Texas 75080 www.binkleybarfield.com
Phone (972) 644-2800 Fax (972) 644-2817



FIRST BAPTIST CHURCH CORINTH CORINTH, TEXAS			
Scale: 1" = 20'	Date: 04/10/2017	Job No.: BC16041	LP-1

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