



PLANNING AND ZONING COMMISSION

CITY OF CORINTH, TEXAS

3300 CORINTH PARKWAY, CORINTH, TEXAS

REGULAR SESSION MEETING

**MONDAY, JULY 24, 2017 – 7:00 P.M.**

City of Corinth ♦ 3300 Corinth Parkway ♦ Corinth, Texas 76208  
940-498-3260 ♦ 940-498-3266 Fax ♦ [www.cityofcorinth.com](http://www.cityofcorinth.com)  
Bill Heidemann, Mayor



\*\*\* PUBLIC NOTICE \*\*\*

**NOTICE OF THE CITY OF CORINTH  
PLANNING AND ZONING COMMISSION REGULAR SESSION  
MONDAY, JULY 24, 2017 AT 7:00 P.M.  
CITY HALL – 3300 CORINTH PARKWAY**

---

**CALL TO ORDER, INVOCATION**

**CONSENT AGENDA ITEM**

1. Consider and act on Minutes from the June 26, 2017 Planning and Zoning Commission Regular Session.

**BUSINESS AGENDA ITEM**

2. Consider and act on the site plan for Taco Bell on property zoned C-2, Commercial and legally described as Kensington Square Shopping Center Addition, Lot 7A, Block A, having a physical address of 4471 FM 2181 in the City of Corinth, Denton County, Texas.

**EXECUTIVE SESSION**

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed session for the purpose of seeking confidential legal advice of the City Attorney on any Agenda Item listed herein.

As a majority of Council Members of the City of Corinth may attend the above described meeting, this notice is given in accordance with Chapter 551 of the Texas Government Code. No official action will be taken by the City Council at this meeting.

**ADJOURN REGULAR SESSION**

Posted this 21<sup>st</sup> day of July, 2017, before 5:00 p.m. on the bulletin board at Corinth City Hall.

Nathan Abato  
Development Coordinator  
City of Corinth, Texas.

Corinth City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at 940.498-3200 or FAX 940.498-7505 for more information.

**BRALE IS NOT AVAILABLE**



**CONSENT AGENDA ITEM #1**

**Planning and Zoning Commission Regular Session**  
*July 24, 2017*

---

**CONSENT AGENDA ITEM**

1. Consider and act on Minutes from the June 26, 2017 Planning and Zoning Commission Regular Session.

**AGENDA ITEM SUMMARY/BACKGROUND**

Consider and act on Minutes from the June 26, 2017 Planning and Zoning Commission Regular Session.

**FINANCIAL SUMMARY**

Source of funding:

**RECOMMENDATION**

**ATTACHMENTS / SUPPORTING DOCUMENTS**

Copy of the minutes.

---

Submitted By: Nathan Abato, Planning and Development Department

Finance Review: NA

Legal Review: NA



**STATE OF TEXAS  
COUNTY OF DENTON  
CITY OF CORINTH**

On this the 26<sup>th</sup> day of June, 2017, the Planning and Zoning Commission and the Capital Improvements Advisory Committee of the City of Corinth, Texas, met in a Regular Session at Corinth City Hall, located at 3300 Corinth Parkway, Corinth, Texas. The meeting date, time, place and purpose as required by Title 5, Subtitle A, Chapter 551, Subchapter C, Section 551.041, Government Code, with the following members, to wit:

**Members Present**

Bruce Hanson  
Brian Rush  
Marc Powell  
Breien Velde

**Members Absent**

Charles Mills  
Dwayne Zinn

**CALL TO ORDER**

The Regular Session of the Planning and Zoning Commission of the City of Corinth, Texas, was called to order by Brian Rush at 7:04 p.m. Marc Powell delivered the invocation.

**CONSENT AGENDA:**

1. Consider and act on Minutes from the April 24, 2017, Planning and Zoning Commission Regular Session.
2. Consider and act on the site plan for Discount Tire on property zoned C-2, Commercial and legally described as Swisher 35-E Addition, Lot 6R, Block A, having a physical address of 8051 I 35E in the City of Corinth, Denton County, Texas.

**MOTION** made by Mr. Hanson to approve the consent agenda.

**MOTION SECONDED** by Mr. Velde.

**4-0 All in favor:**

Ayes: Marc Powell, Brian Rush, Bruce Hanson, Breien Velde  
Noes: None  
Absent: Charles Mills, Dwayne Zinn

**MOTION TO APPROVE CARRIES**

**BUSINESS AGENDA:**

3. Consider and act on a request from the applicant Don Paschal, authorized representative for the property owner, Huffines Children's Trust for a Major Subdivision Waiver to the City of Corinth Ordinance No. 13-05-08-20, Unified Development Code (UDC) to allow grading, fill dirt and the removal of trees that are protected under the Landscape and Tree Preservation Ordinance prior to release of Construction Plans on a site being 13.773 acres out of the E.A. Garrison Survey, Abstract No. 511 in the City of Corinth, Denton County, Texas. (This site is located on the west side of I-35E and the east side of Tower Ridge Drive, south of Lake Sharon Drive.)

**Ms. Lori Levy** gave a brief presentation of the waiver request. The purpose of the waiver is to be able to start on grading and fill dirt to get the site ready prior to the release of the building plans by the City Engineer. She

said the applicant has worked with adjacent property owners to obtain temporary construction easements. The applicant wants to start construction in the summer or fall of 2018. She also said staff is recommending approval of the request, subject to the applicant continuing to work with the City Engineer and addressing the comments.

**Mr. Don Paschal, Paschal Consulting**, said all of the civil plans have been submitted to the City Engineer. He said the Texas Department of Transportation (TXDOT) changed the location of the north access point for certain technical reasons and traffic reasons. Mr. Paschal also said there are some off site easements they are working on. He said he expects there will be six to eight weeks of dirt work on the site. The preliminary and final plats are very similar and meet all expectations. He said he would like to open on Labor Day of 2018.

**Mr. Hanson** asked where the offsite easement is. Mr. Paschal said it doesn't show up on the plat, but on the site plan—he pointed it out on the screen—and said it is located within the landscape easement.

**Mr. Hanson** asked Mr. Brownlee if Mr. Paschal's list of items is complete and accurate list of items that need to be addressed. Mr. Brownlee said yes and that it would be okay to let them start on the site—and that this is a complex project.

**MOTION** made by Mr. Hanson to recommend approval of the waiver subject to the applicant addressing the engineering comments.

**MOTION SECONDED** by Mr. Powell.

**Mr. Hanson** said he believes this work is more substantial than just a little bit of grading based on what the City Engineer is saying.

**4-0 All in favor:**

Ayes: Marc Powell, Brian Rush, Bruce Hanson, Breien Velde  
Noes: None  
Absent: Charles Mills, Dwayne Zinn

**MOTION TO RECOMMEND APPROVAL CARRIES**

4. Consider and act on the Huffines Auto Addition, Lot 1, Block A Preliminary Plat being 13.773 acres out of the E.A. Garrison Survey, Abstract No. 511 in the City of Corinth, Denton County, Texas. (This site is located on the west side of I-35E and the east side of Tower Ridge Drive, south of Lake Sharon Drive.)

**MOTION** made by Mr. Powell to approve the plat pursuant to the applicant addressing the engineering comments, the approval of the Major Subdivision Waiver by the City Council, and the acquisition of the TXDOT permits for the driveways.

**MOTION SECONDED** by Mr. Velde.

**4-0 All in favor:**

Ayes: Marc Powell, Brian Rush, Bruce Hanson, Breien Velde  
Noes: None  
Absent: Charles Mills, Dwayne Zinn

**MOTION TO APPROVE CARRIES**

5. Consider and act on the Huffines Auto Addition, Lot 1, Block A Final Plat being 13.773 acres out of the E.A. Garrison Survey, Abstract No. 511 in the City of Corinth, Denton County, Texas. (This site is located on the west side of I-35E and the east side of Tower Ridge Drive, south of Lake Sharon Drive.)

**Mr. Hanson** asked about the south access drives and if they have to change it, what would be the process. Mr. Brownlee said it wouldn't be moving it, but would be phasing it—maybe gating it off. Or an access for truck deliveries only. Or raised barricades.

**MOTION** made by Mr. Powell to recommend approval subject to the applicant addressing the engineering comments, the approval of the Major Subdivision Waiver by the City Council, and the acquisition of the TXDOT permits for the driveways.

**MOTION SECONDED** by Mr. Velde.

**4-0 All in favor:**

Ayes: Marc Powell, Brian Rush, Bruce Hanson, Breien Velde  
Noes: None  
Absent: Charles Mills, Dwayne Zinn

**MOTION TO APPROVE CARRIES**

**PUBLIC HEARING AGENDA:**

6. TO HEAR PUBLIC OPINION REGARDING A REQUEST BY THE APPLICANT KERRY ROUNTREE, AUTHORIZED REPRESENTATIVE FOR THE PROPERTY OWNER, PINNELL SQUARE LP, FOR A SPECIFIC USE PERMIT (SUP) TO ALLOW AUTOMOBILE OR OTHER MOTORIZED SALES AND SERVICE IN SUITE 411 ON PROPERTY LEGALLY DESCRIBED AS 3187 SF IN PINNELL SQUARE ADDITION LOT 1A, BLOCK A BEING 6.663 ACRES IN THE CITY OF CORINTH, DENTON COUNTY, TEXAS. THIS PROPERTY IS LOCATED AT 1400 NORTH CORINTH STREET.

**Ms. Barbara Cubbage** gave a brief presentation on the request—motorcycle sales and services. All of their business will take place inside the building. The Deputy Fire Chief had a concern about the amount of fuel that would be kept on site and the applicant has fully cooperated in answering all concerns. There will only be a maximum of five gallons of fuel on site. She said the City Engineer had concerns if they were planning on flushing material down the sewer system—and they won't be. The location of their suite is at the end of the development, in the rear.

**Mr. Hanson** asked if there was already a motorcycle repair shop in that area. Ms. Cubbage said yes, and they primarily repair foreign bikes.

**Mr. Kerry Rountree, Busted Night Cycles**, introduced himself and his proposal. He reiterated they will only be working on American manufactured cycles. He also said they will only have five gallons of fuel on site. They will also have secondary spill containment for oil and bike washing. Mr. Rountree said safety is a primary concern and will also help lower his insurance rates.

**PUBLIC HEARING** opened at 7:50 PM.

**Norma Armstrong**, 1309 N. Corinth Street, was neither in support of nor against—had a concern about possible increased motorcycle noise.

**Mr. Rountree** addressed Ms. Armstrong's noise concern. He said if his clients disrespect his neighbors with excessive noise, they will refuse their service and contact local law enforcement.

**PUBLIC HEARING** closed at 7:55 PM.

- 6a.** Consider and act on a an ordinance regarding a request by the applicant Kerry Rountree, authorized representative for the property owner, Pinnell Square LP, for a Specific Use Permit (SUP) to allow Automobile or Other Motorized Sales and Service in Suite 411 on property legally described as 3187 sf in Pinnell Square Addition Lot 1A, Block A being 6.663 acres in the City of Corinth, Denton County, Texas.

**MOTION** made by Mr. Hanson to recommend approval of the Specific Use Permit as presented.

**MOTION SECONDED** by Mr. Powell.

**4-0 All in favor:**

Ayes: Marc Powell, Brian Rush, Bruce Hanson, Breien Velde  
Noes: None  
Absent: Charles Mills, Dwayne Zinn

**MOTION TO RECOMMEND APPROVAL CARRIES**

**ADJOURN**

Meeting adjourned at 8:02 p.m.

**MINUTES APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.**

---

Brian Rush, Planning and Zoning Commission Chairman

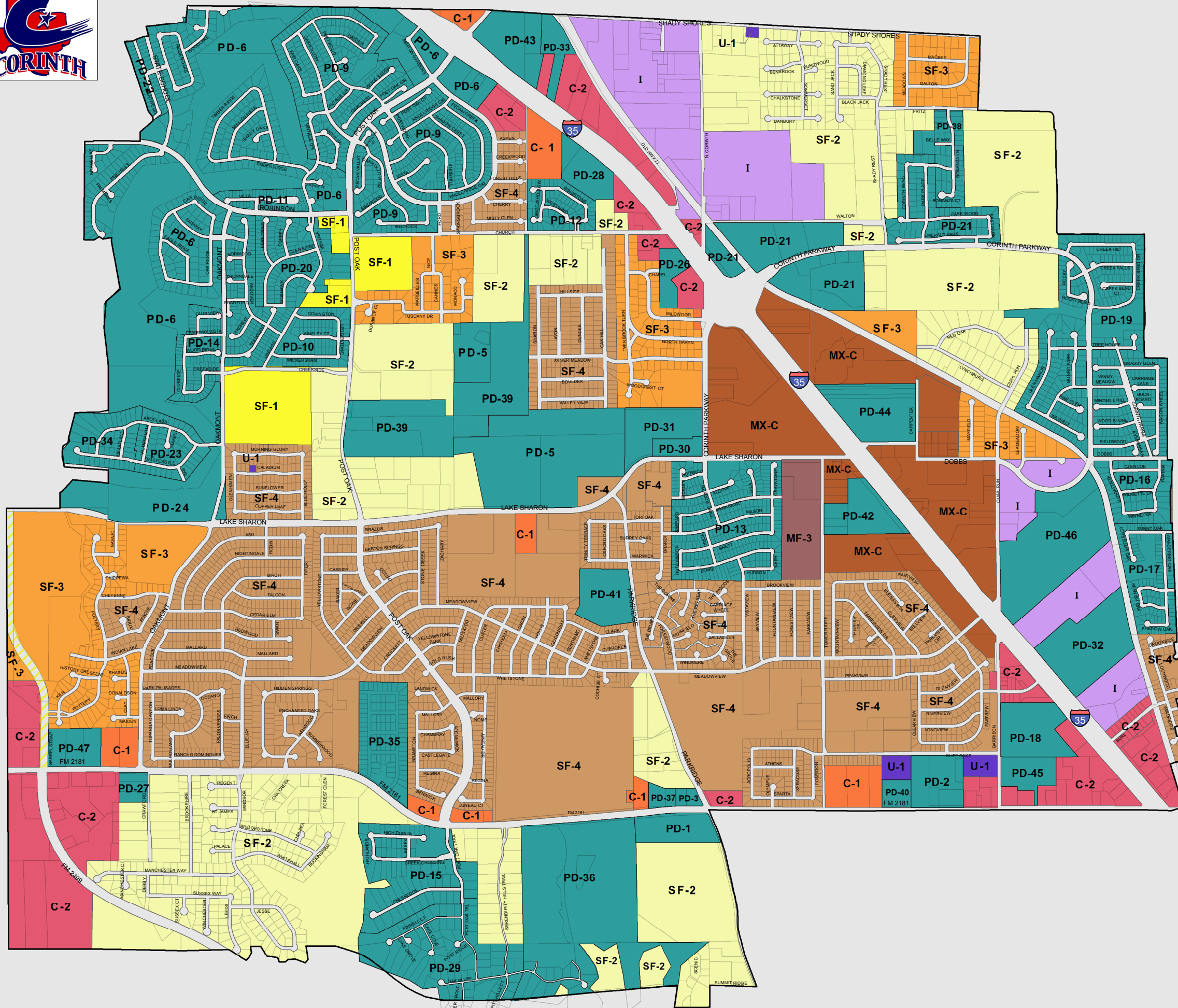
---

Nathan Abato, Planning and Zoning Commission Secretary





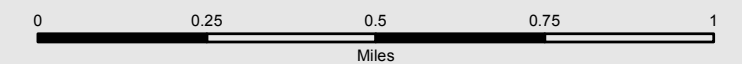
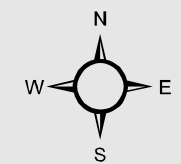
# City of Corinth Zoning Map



## Legend

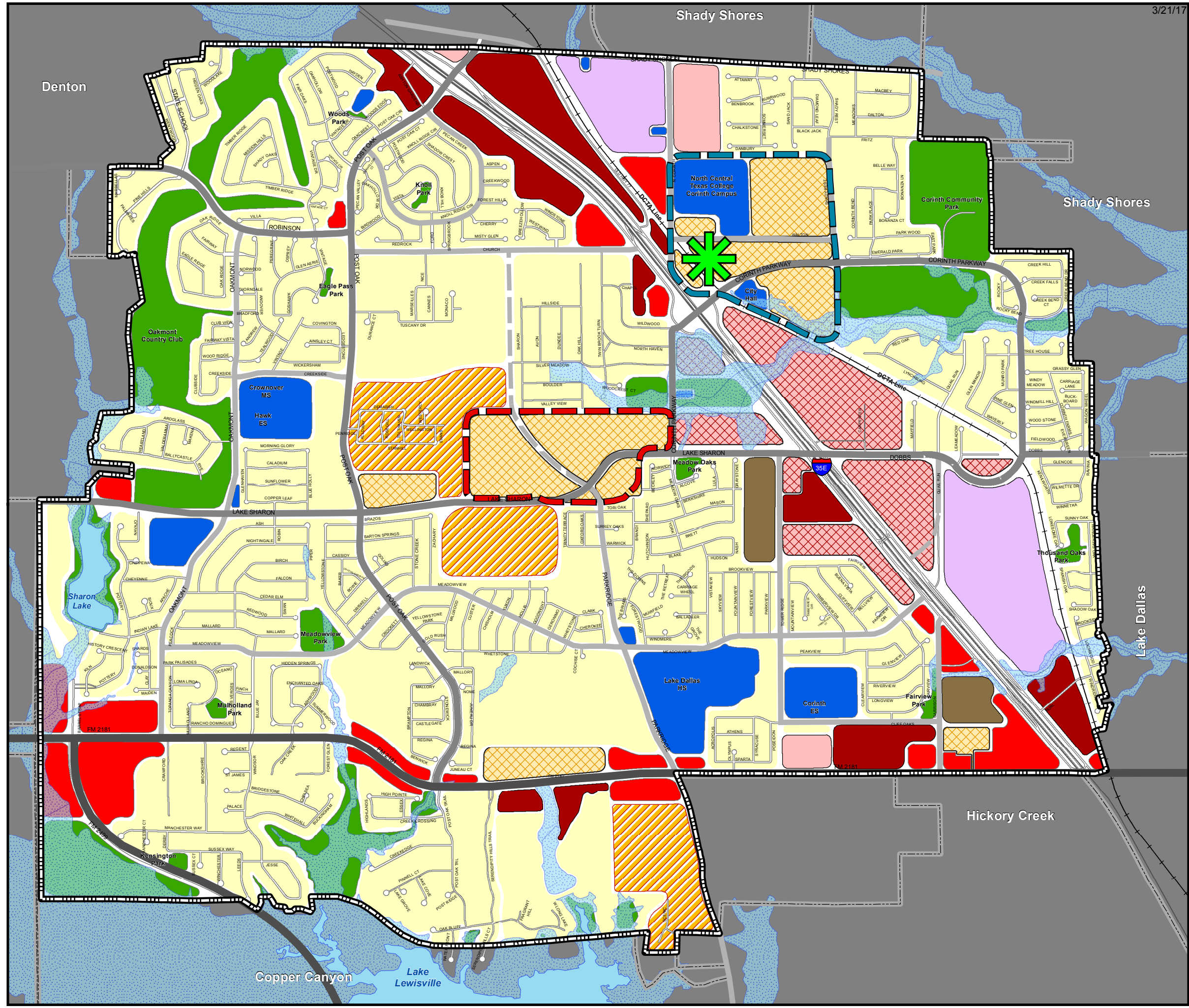
### Zoning Districts

- Future FM 2499
- C-1 Commercial
- C-2 Commercial
- C-3 Commercial
- I Industrial
- MF-1 Multi-Family Residential
- MF-2 Multi-Family Residential
- MF-3 Multi-Family Residential
- MHD Modular Home District
- MX-C Mixed Use Commercial
- PD Planned Development
- SF-1 Single Family Residential
- SF-2 Single Family Residential
- SF-3 Single Family Residential
- SF-4 Single Family Residential
- U-1 Utility





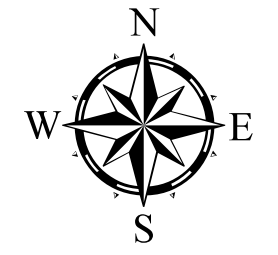
# Future Land Use Plan



- Future Land Use**
- Low Density Residential
  - Medium Density Residential
  - High Density Residential
  - Mixed Residential
  - Mixed Use with Residential
  - Parks and Open Space
  - Public/Semi-Public
  - Mixed Use Non-Residential
  - Office/Business Park
  - Retail
  - Commercial
  - Industrial
  - Multi-Modal Transit Center
  - Transit Oriented Development
  - Corinth City Center
- Road Types**
- Major Arterial
  - Minor Arterial
  - Collector
  - Corinth City Limits
  - FEMA 100 Year Floodplain

## Plate 4-1

Note:  
A Comprehensive Plan shall not constitute zoning district regulations or establish zoning district boundaries.







## TACO BELL

### Site Plan



FM 2181

CONNECTING ROAD





## **BUSINESS ITEM # 2**

### **Planning and Zoning Commission Regular Session July 24, 2017**

---

#### **AGENDA ITEM**

**BUSINESS:** Consider and act on the site plan for Taco Bell on property zoned C-2, Commercial and legally described as Kensington Square Shopping Center Addition, Lot 7A, Block A, having a physical address of 4471 FM 2181 in the City of Corinth, Denton County, Texas.

#### **APPROVAL PROCESS**

The Planning and Zoning Commission will make a recommendation to City Council.

#### **PUBLIC NOTIFICATION**

Legal notification is not required for site plan consideration. Consideration is held in open meetings before both the Planning and Zoning Commission and final approval through City Council.

#### **AGENDA ITEM DESCRIPTION**

City Council approved the Final Plat for Kensington Square Shopping Center Addition in March, 1997. Taco Bell – Metroplex Multifoods – applied for the building permit for a “Fast Food Restaurant with Drive-Through” in June, 1997. In the twenty years since the initial development of the site, the store has gone through at least one renovation (1999) as well as two name changes. In 2000, Taco Bell, Pizza Hut and KFC were on the menu, but in 2011 Pizza Hut was removed.

At this time, not only is KFC signage being removed from the site, but the existing building will be demolished and a new building erected in its place. This approval process is found in the City of Corinth Unified Development Code (UDC) 2.10.08. – Site Plans, B. Applicability b. Site Plans Related to Building Permits or any On-Site Construction/Development.

The Photometric, Landscape and Dimensional Site Plan Site Plan documents have been adhered to per the Site Plan regulations. As for the Building Façade Materials, commercial construction is required to provide a minimum 100% Class II masonry products. The applicant has proposed Nichiha which is a cement fiberboard product that the Commission and Council have seen on a couple other projects over the last year. A letter is included with this agenda item requesting Alternative Compliance for the Nichiha as well as for the RustWall Metal Panels proposed for the corner-tower on the southwest corner of Taco Bell.

#### **ZONING**

Zoning on this site is C-2, Commercial.

#### **COMPREHENSIVE PLAN FUTURE LAND USE DESIGNATION**

The Comprehensive Plan Future Land Use Map designates this area as Retail.

#### **FINANCIAL SUMMARY**

Source of Funding: No funding is required.

**STAFF RECOMMENDATION**

Approval of the Alternative Compliance is at the discretion of the Commission. All other aspects of the Site Plan documents comply with the Site Plan regulations.

**ATTACHMENTS / SUPPORTING DOCUMENTS**

Zoning Map  
Letter Requesting Alternative Compliance and specs associated with those materials  
FLUP Map  
Existing Filed Final Plat  
Site Plan Packet

---

Submitted By: Barbara Cubbage, Planning and Development Manager  
Department: Planning and Development

Finance Review: Yes NA  Legal Review: Yes NA

Director Review and Approval:

**Lonnie Smith -  
Architect**  
P.O. Box 1925  
Richmond, KY 40476

phone 859-624-3755  
fax 859-624-3745

Corinth City Council  
City of Corinth  
3300 Corinth Parkway  
Corinth, TX. 76208

RE: Proposed Taco Bell  
4471 FM 2181

Dear Council Members:

We respectfully request an approval of Alternative Compliance for two exterior finish materials for the Taco Bell on FM 2181. These materials are part of the Taco Bell standard exterior image program and we would like to use at this location as well.

-Nichiha Rough sawn "Smoke" fiber cement panels  
-18" A606-4 Rustwall Panels by western State Metal Roofing

We feel these materials meet the spirit and intent of the standards and again respectfully request your approval.

Sincerely,

A handwritten signature in blue ink that reads "Lonnie Smith". The signature is written in a cursive, flowing style.

Lonnie smith Architect

CAB Pp 273

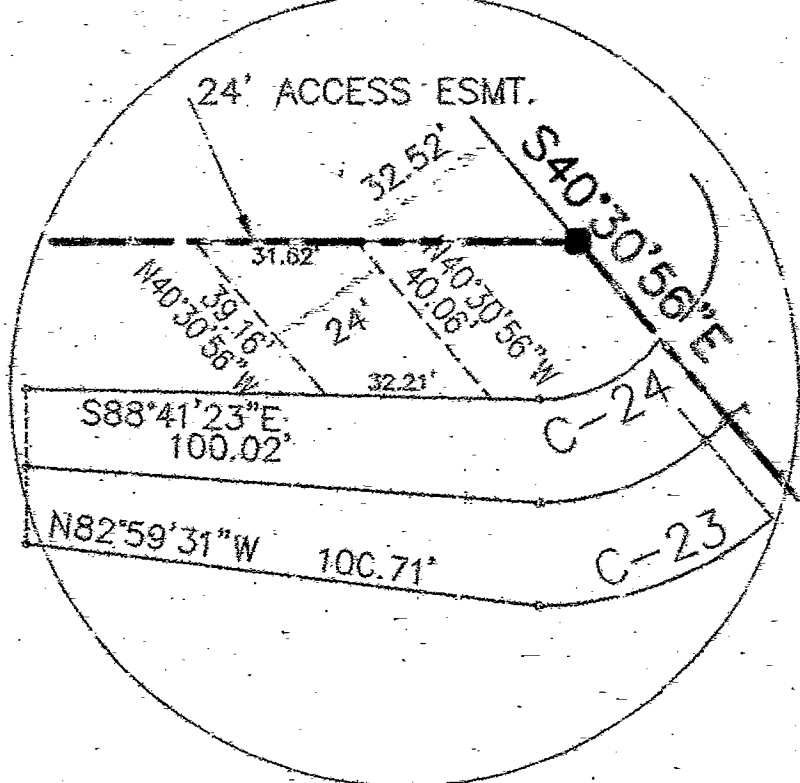
DRAINAGE DETENTION IS TO BE MAINTAINED BY PROPERTY OWNERS.

SCALE 1" = 100'

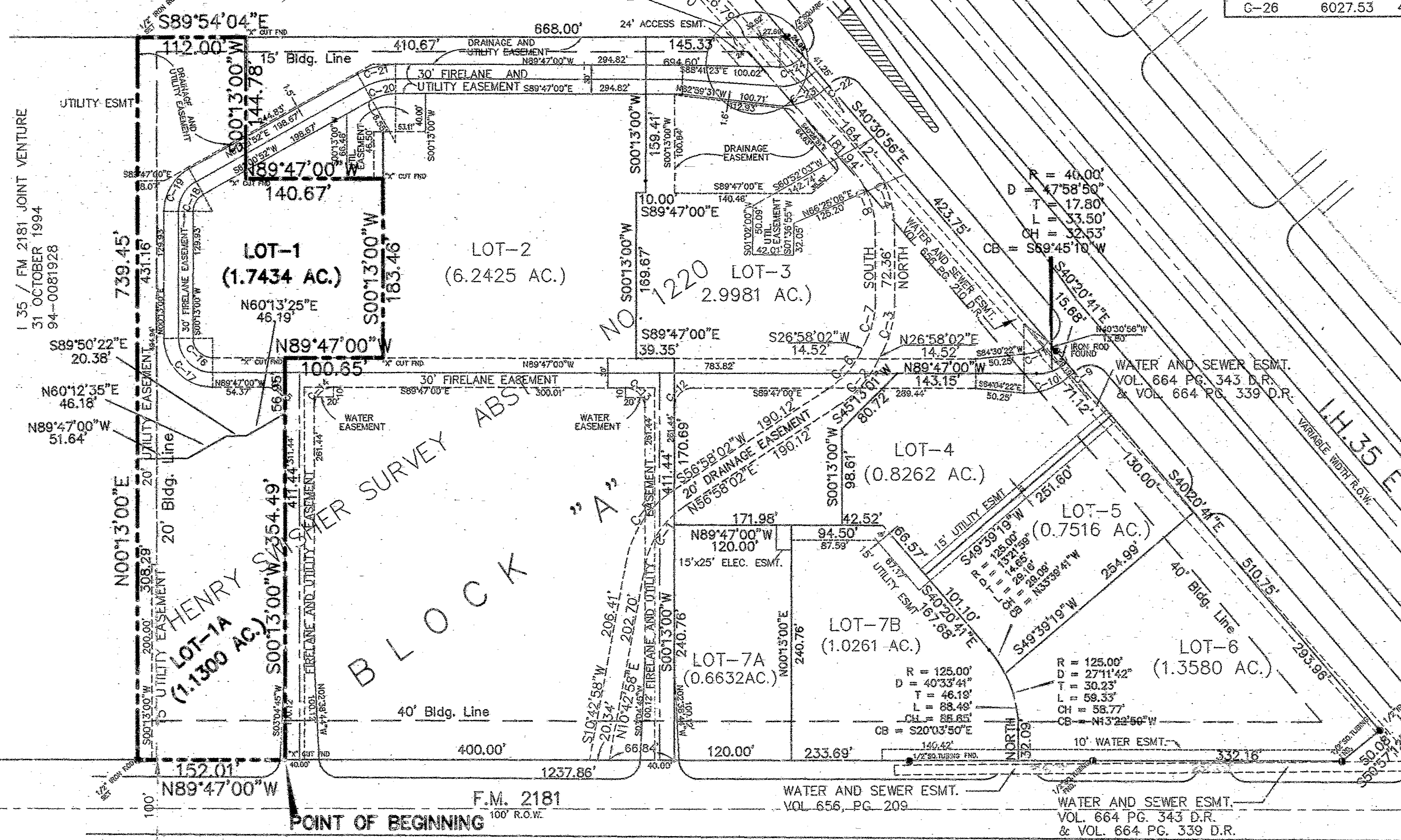
DRAINAGE EASEMENT CURVE DATA

CURVE	NORTH	EAST	RADIUS	DELTA	TANGENT	LENGTH	CHORD	BEARING
C-1	5177.86	4156.44	92.50'	46°15'04"	39.50'	74.67'	72.66'	N33°50'30"E
C-2	5453.36	4204.08	112.50'	30°00'00"	30.14'	58.90'	58.23'	S41°58'02"W
C-3	5458.30	4210.87	112.50'	26°58'02"	26.97'	52.95'	52.46'	S13°29'01"W
C-4	5538.66	4210.87	112.50'	41°36'31"	42.74'	81.70'	79.91'	S20°48'15"E
C-5	5177.86	4156.44	112.50'	46°15'04"	48.04'	90.81'	88.37'	N33°50'30"E
C-6	5453.36	4204.08	92.50'	30°00'00"	24.79'	48.43'	47.88'	S41°58'02"W
C-7	5466.30	4210.87	92.50'	26°58'02"	22.18'	43.54'	43.14'	S13°29'01"W
C-8	5538.66	4210.87	92.50'	41°36'31"	35.15'	67.17'	65.71'	S20°48'15"E
C-25	6027.53	4019.24	69.00'	42°57'23"	27.15'	51.73'	50.53'	N20°07'49"W
C-26	6027.53	4019.24	89.00'	42°57'23"	35.02'	66.73'	65.17'	N20°07'49"W

Filed for Record in:  
DENTON COUNTY, TX  
HONORABLE TIM HODGES/COUNTY CLERK  
On Dec 04 1998  
At 12:34pm  
Doc/Sheet: 98-434-1  
Doc/Type: PLAT  
Rec/Type: 46-08  
Rec/Sheet #: 43418  
Receipt #: 43418  
Deputy: MARY



SHAUL C BARUCH, TRUSTEE  
VOL. 1642, PG. 318 D.R.

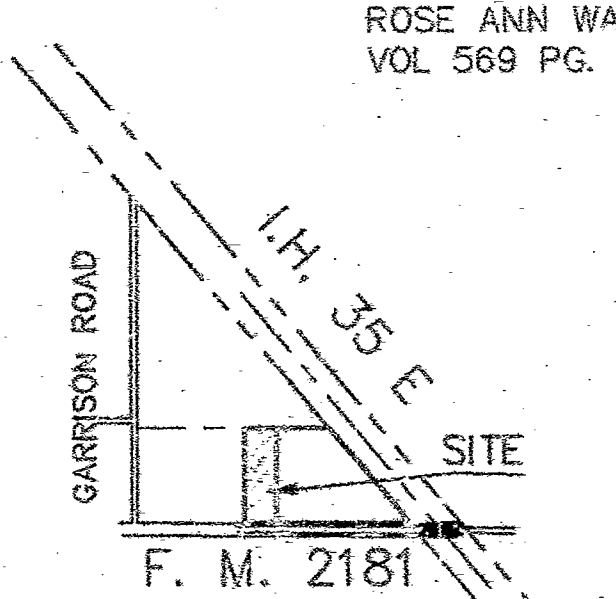


J. SIMMONS SURVEY ABST. NO. 1163

ROSE ANN WALL  
VOL 569 PG. 679 D.R.

FIRELANE EASEMENT CURVE DATA

CURVE	NORTH	EAST	RADIUS	DELTA	TANGENT	LENGTH	CHORD	BEARING
C-9	5364.60	4520.67	30.00'	14°28'35"	3.81'	7.58'	7.56'	N57°05'52"E
C-10	5440.73	4455.83	70.00'	40°45'26"	26.00'	49.79'	48.75'	S69°50'17"W
C-11	5440.73	4455.83	30.00'	55°25'41"	15.76'	29.02'	27.90'	S62°30'09"W
C-12	5357.01	4116.07	20.00'	90°00'00"	20.00'	31.42'	28.28'	N45°13'00"E
C-13	5357.28	4046.07	20.00'	90°00'00"	20.00'	31.42'	28.28'	S44°47'00"E
C-14	5358.41	3746.06	20.00'	90°00'00"	20.00'	31.42'	28.28'	N45°13'00"E
C-15	5358.67	3676.06	20.00'	90°00'00"	20.00'	31.42'	28.28'	S44°47'00"E
C-16	5428.88	3621.93	20.00'	90°00'00"	20.00'	31.42'	28.28'	N44°47'00"W
C-17	5428.88	3621.96	50.00'	90°00'00"	50.00'	78.54'	70.71'	N44°47'00"W
C-18	5558.80	3622.45	20.00'	60°47'52"	11.73'	21.22'	20.24'	N30°36'56"E
C-19	5558.80	3622.45	50.00'	60°47'52"	29.33'	53.06'	50.60'	N30°36'56"E
C-20	5628.84	3810.77	50.00'	29°12'08"	13.03'	25.48'	25.21'	N75°36'56"E
C-21	5628.84	3810.77	80.00'	29°12'08"	20.84'	40.77'	40.33'	N75°36'56"E
C-22	5659.41	4270.96	30.00'	11°42'00"	3.07'	6.13'	6.12'	N55°20'04"E
C-23	5735.43	4206.00	70.00'	40°43'56"	25.99'	49.76'	48.72'	S69°51'02"W
C-24	5735.43	4206.00	30.00'	52°25'56"	14.77'	27.45'	26.51'	S64°00'02"W



VICINITY MAP  
SCALE 1" = 2000'

AMENDED PLAT  
KENSINGTON SQUARE SHOPPING CENTER  
LOTS 1 & 1A, BLOCK A  
AN ADDITION TO THE CITY OF CORINTH, TEXAS OUT OF  
THE HENRY SWISHER SURVEY, ABSTRACT NO. 1220  
DENTON COUNTY, TEXAS.

ENGINEER:  
NEEDHAM WRIGHT ENGINEERS INC.  
10290 MONROE DRIVE SUITE 101  
DALLAS, TEXAS 75229  
(214) 357-2881  
(214) 357-2885 (FAX)  
CONTACT: ROBERT M. NEEDHAM

OWNER LOTS 1 & 1A  
KENSINGTON SQUARE L.P.  
17400 DALLAS PARKWAY  
SUITE 216  
DALLAS, TEXAS 75287  
(972) 407-9067

INTERIOR LOT LINES HAVE NO MINIMUM  
SIDE YARD BUILDING SET BACKS.

DATE: 8/28/98  
SHEET 1 OF 2

JOB NO. 98-434



CAB Pp 274

Filed for Record in:  
DENTON COUNTY, TX  
HONORABLE TIM HODGES/COUNTY  
CLERK  
On Dec 04 1998  
At 12:34pm  
Doc/Num : 98-R010920  
PLR :  
46.00  
Recording :  
6.00  
Doc/Mgmt :  
43410  
Deputy - MARY

DEDICATION

STATE OF TEXAS  
COUNTY OF DENTON

WHEREAS KENSINGTON SQUARE, L.P., is the owner of a tract of land situated in the Henry Swisher Survey, Abstract No. 1220, City of Corinth, Denton County, said tract being all of Lot 1 Block A, recorded in Cabinet N, Page 364, of the Plat Records of Denton County.

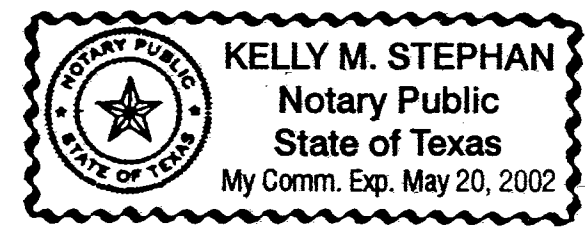
BEGINNING at a "X" cut found in concrete in the north line of F.M. 2181 (a 100' R.O.W.) and the southeast corner of said Lot 1;  
THENCE North 89 deg. 47 min. 00 sec. West along said F.M. 2181 a distance of 152.01 feet to a 1/2 inch iron rod found for corner;  
THENCE leaving the north line of f.m. 2181, North 00 deg. 13 min. 00 sec. East a distance of 739.45 feet to a 1/2 inch iron rod found on the northwest corner of said Lot 1;  
THENCE South 89 deg. 54 min. 04 sec. East along the north line of said Lot 1 a distance of 112.00 feet to a "X" cut found on the northeast corner of said Lot 1 for corner;  
THENCE South 00 deg. 13 min. 00 sec. West a distance of 144.75 feet to a "X" cut found for corner;  
THENCE North 89 deg. 47 min. 00 sec. East a distance of 140.67 feet to a "X" cut found for corner;  
THENCE South 00 deg. 13 min. 00 sec. West a distance of 183.46 feet to a "X" cut found for corner;  
THENCE North 89 deg. 47 min. 00 sec. West a distance of 100.65 feet to a "X" cut found for corner;  
THENCE South 00 deg. 13 min. 00 sec. West a distance of 411.44 feet to the POINT OF BEGINNING and containing 125,165 square feet or 2.8734 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT KENSINGTON SQUARE, L.P. does hereby adopt this plat designating the herein described property as KENSINGTON SQUARE SHOPPING CENTER, in the City of Corinth, Denton County, Texas, and does hereby dedicate the easements shown hereon for the specific use of the City Departments serving the public and the specific private companies providing utility service hereto.

BY: Sue Shelton DATE: 10-30-98

STATE OF TEXAS  
COUNTY OF Dallas  
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC in and for said state, on this day personally appeared Sue Shelton, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein stated. GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 30 day of October 1998.

My Commission Expires: 5-20-02 Kelly M. Stephan  
Notary Public in and for  
The State of Texas

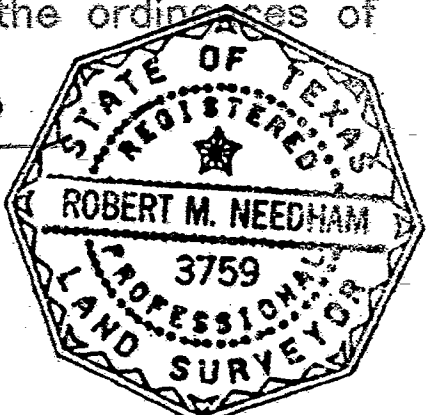


SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: THAT I, ROBERT M. NEEDHAM, Registered Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land described hereon, and that the corner monuments shown hereon were found or placed under my personal supervision in accordance with the ordinances of the Town of Corinth, Texas.

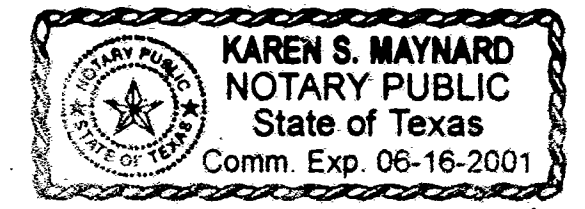
Robert M. Needham  
ROBERT M. NEEDHAM, R.P.L.S. 3759

10-26-98  
DATE



STATE OF TEXAS  
COUNTY OF DALLAS  
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC in and for said state, on this day personally appeared Robert M. Needham, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 26th day of October 1998.



My Commission Expires: 6-16-2001 Karen S. Maynard  
Notary Public in and for  
The State of Texas

CERTIFICATE OF APPROVAL

Recommended for Approval  
Stepha Wise 3 Nov 98  
Chairman, Planning and Zoning Commission Date  
Town of Corinth, Texas

Approved and Accepted  
Shirley Spillerberg 11-4-98  
Mayor, Town of Corinth, Texas Date

The undersigned, the Town Secretary of the Town of Corinth, Texas, hereby certifies that the foregoing Final Plat of KENSINGTON SQUARE SHOPPING CENTER Addition to Town of Corinth was submitted to the Town Council on the 6th day of March, 1997, and Council, by formal action, then and there accepted the dedication of easements, and water and sewer lines, as shown and set forth in and upon said plat, and said Council further authorized the Mayor to note the acceptance thereof by signing her name as herein above subscribed.  
Witness my hand this 5th day of NOVEMBER A.D., 1998.

Connie Bell  
Town Secretary  
Town of Corinth, Texas



AMENDED PLAT

KENSINGTON SQUARE SHOPPING CENTER  
LOTS 1 & 1A, BLOCK A

AN ADDITION TO THE CITY OF CORINTH, TEXAS OUT OF THE HENRY SWISHER SURVEY, ABSTRACT NO. 1220 DENTON COUNTY, TEXAS.

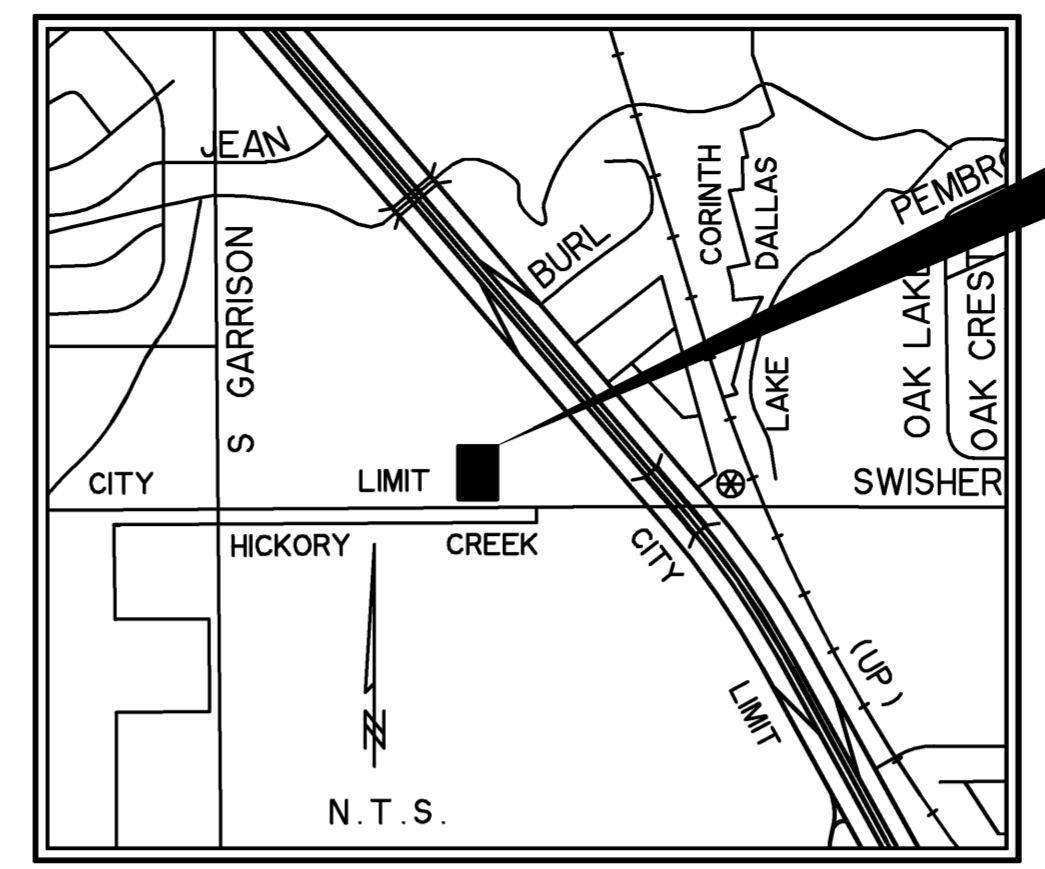
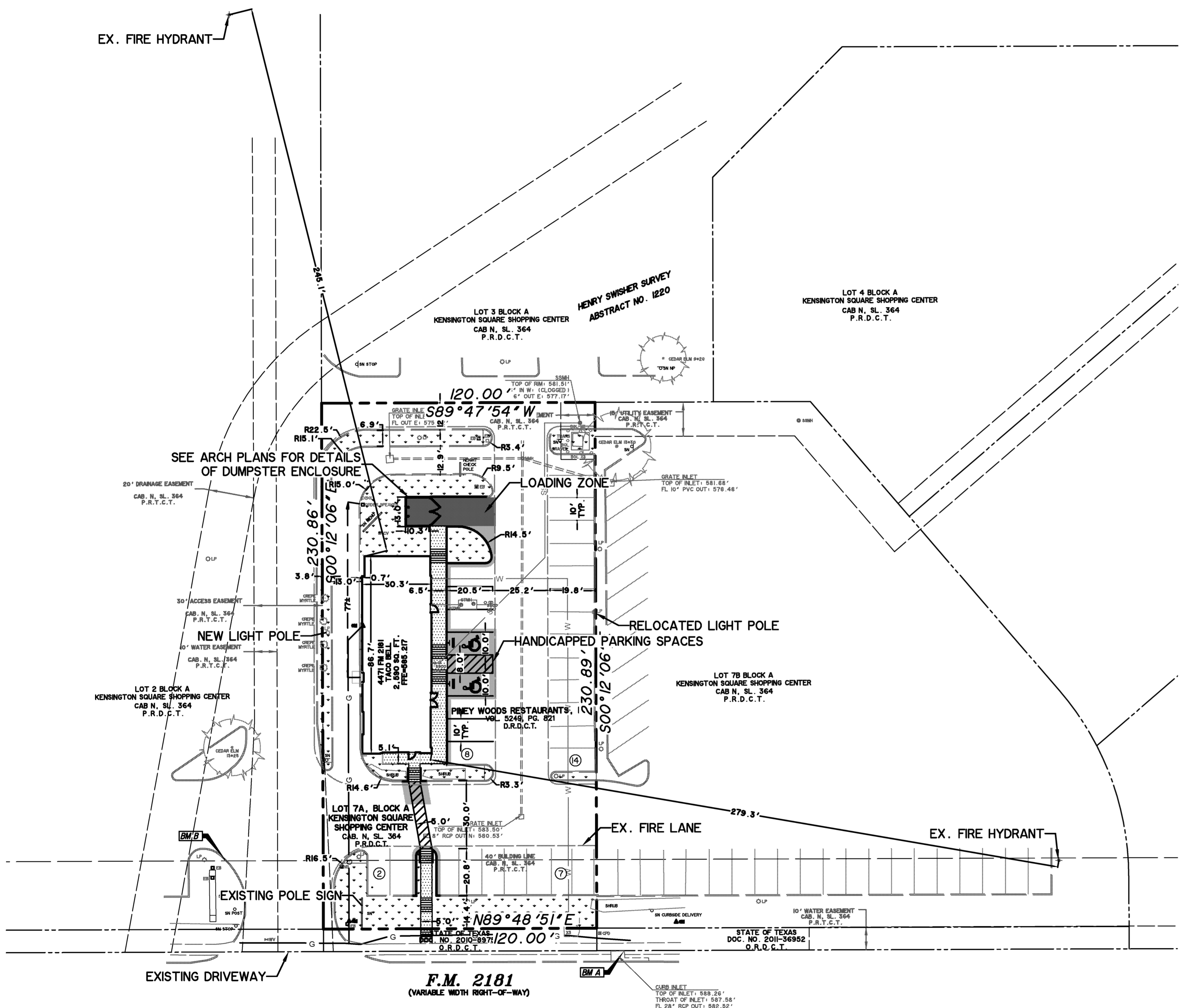
ENGINEER:  
NEEDHAM WRIGHT ENGINEERS INC.  
10290 MONROE DRIVE SUITE 101  
DALLAS, TEXAS 75229  
(214) 357-2981  
(214) 357-2985 (FAX)  
CONTACT: ROBERT M. NEEDHAM

OWNER LOTS 1 & 1A  
KENSINGTON SQUARE L.P.  
17400 DALLAS PARKWAY  
SUITE 216  
DALLAS, TEXAS 75287  
(972) 407-9087

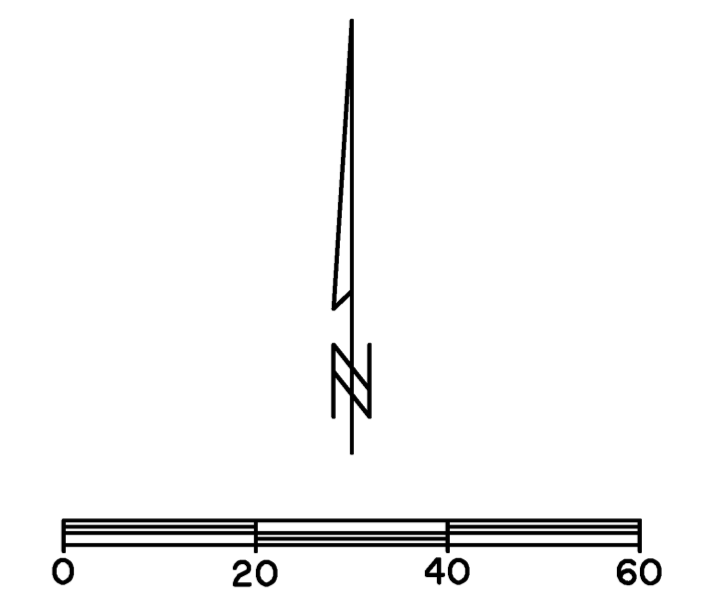
DATE: 8/28/98  
SHEET 2 OF 2

JOB NO. 98-434

PRINTED: 7/18/2017 3:57 PM FILE: WIER-PAVING.STB LAST SAVED: 7/18/2017 3:57 PM SAVED BY: CASEYO FILE: 02 DIMENSIONAL-SITE-PLAN-17046.DWG



PROJECT LOCATION



LEGEND	
	LANDSCAPE SEEDING AREAS
	PROPOSED SIDEWALK
	6' - 3500 PSI CONC. (HEAVY DUTY) SECTION SHEET 08
	7' - 3500 PSI CONC. (DUMPSTER PAD)
	PARKING STALL COUNT
	EXPANSION JOINTS
	E.O.P. EDGE OF PAVEMENT
	B.F.R. BARRIER FREE RAMP

SITE DATA SUMMARY		
	EXISTING	PROPOSED
ZONING	C-2	C-2
LAND USE DESIGNATION	RETAIL	RETAIL
GROSS ACREAGE	0.64 AC	0.64 AC
NET ACREAGE	0.64 AC	0.64 AC
NUMBER OF PROPOSED LOTS	1	1
PERCENTAGE OF SITE COVERAGE	9.9%	11.6%
AREA OF OPEN SPACE	N/A	N/A
PERCENTAGE OF OPEN SPACE	N/A	N/A
REQUIRED LANDSCAPE AREA	2,271 SF	2,271 SF
PERCENTAGE OF LANDSCAPE	16%	23%
AREA OF IMPERVIOUS COVERAGE	0.54 AC	0.49 AC
PERCENTAGE OF IMPERVIOUS COVERAGE	84%	77%
PROPOSED BUILDING AREA	2,552 SF	2,590 SF
NUMBER OF SINGLE STORY BUILDINGS	1	1
NUMBER OF TWO-STORY BUILDINGS	0	0
MAXIMUM BUILDING HEIGHT	UNKNOWN	18'-10'
PROPOSED FLOOR AREA	UNKNOWN	1,901 SF
PROPOSED FLOOR AREA BY USE	UNKNOWN	DINING 730 SF KITCHEN 755 SF OFFICE 74 SF ACCESSORY STORAGE 148 SF RESTROOMS & PASSAGE 194 SF
REQUIRED PARKING	UNKNOWN	15
PROVIDED PARKING	STANDARD 33 HANDICAP 2 TOTAL 35	STANDARD 29 HANDICAP 2 TOTAL 31
INVENTORY PARKING	N/A	N/A
REQUIRED LOADING SPACES	N/A	N/A
PROVIDED LOADING SPACES	N/A	N/A
AREA OF OUTSIDE STORAGE	N/A	N/A
PERCENTAGE OF OUTSIDE STORAGE	N/A	N/A
START OF CONSTRUCTION	N/A	AUGUST 2017
END OF CONSTRUCTION	N/A	DECEMBER 2017

- GENERAL NOTES:**
- ALL COORDINATES ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.
  - DIMENSIONS SHOWN ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 2.5' B/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**\* BENCHMARKS \***

**BM A** - AN "X" CUT IN CONCRETE IN THE BACK OF CURB AT EAST END OF PARKING ISLAND ± 42' NORTH OF DUMPSTER AND ± 56' WEST OF CONCRETE BLOCK SHED.  
ELEVATION = 425.25 FT.

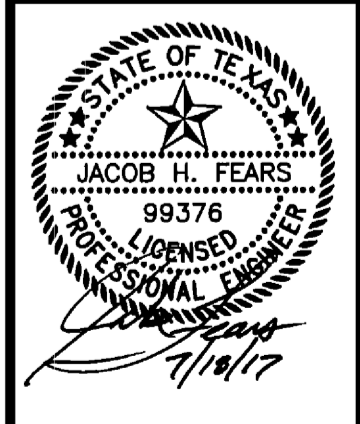
**BM B** - AN "X" CUT IN BACK OF CURB ALONG NORTH SIDE OF PARKING LOT ± 52' WEST OF DRIVEWAY ALONG U.S. 175 AND 12.5' SOUTH OF OBEY STATE LAWS SIGN.  
ELEVATION = 425.88 FT.

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

NO.	DATE	DESCRIPTION	BY

TACO BELL (4471 FM 2181)  
 LOT 7A, BLOCK A,  
 KENSINGTON SQUARE  
 SHOPPING CENTER,  
 HENRY SWISHER SURVEY,  
 ABSTRACT NO. 1220,  
 CORNITH, DENTON COUNTY, TX

**DIMENSIONAL SITE PLAN**



COPYRIGHT ©  
 WIER & ASSOCIATES, INC.  
 LAST SHEET EDIT  
 DATE 7/18/2017  
 WA# 17046  
**SHEET NO. 02**



**PLANTING SPECIFICATIONS:**

**PLANTING BEDS:**  
 PLANTING BED BACKFILL SHALL BE "SCREENED BEDDING SOIL", OR EAQUAL COMMERCIAL FERTILIZER SHALL BE 5-10-5 WITH IRON AND SULFUR. MULCH SHALL BE SHREDED CEDAR BARK MULCH.

THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY SOIL IN PROPOSED PLANTING BEDS TO A SUBGRADE OF FOUR INCHES BELOW PROPOSED FINAL GRADES (SHOWN ON THE ENGINEER'S GRADING PLAN). ROTO TILL AND LOOSEN THE SUBGRADE, REMOVE ALL GRASS TOPS, DEBRIS AND ROCKS OVER ONE INCH IN DIAMETER. THE LANDSCAPE CONTRACTOR SHALL APPLY AND COVER ALL AREAS TO BE PLANTED WITH PLANTING BED BACKFILL TO A BED LEVEL AS DESCRIBED BELOW. BEFORE BEGINNING ANY PLANTING OPERATIONS, THE SOIL MUST BE LOOSE. LOOSEN COMPACTED TOPSOIL BY ROTOTILLING. DO NOT PLANT ON COMPACTED TOPSOIL. HAND RAKE PROPOSED PLANTING BED SURFACES CLEAN OF WEEDS, DEBRIS AND ROCK ONE INCH OR LARGER. FINAL GRADES SHALL HAVE A SMOOTH AND CONTINUOUS GRADE BETWEEN EXISTING FIXED CONTROLS SUCH AS WALKS, TOP OF CURB, CATCH BASINS, ETC.

PLANTING BEDS TO BE MOIST BEFORE PLANTING. AFTER PLANTING, BROADCAST FERTILIZER OVER PLANTING BEDS AT THE RATE OF 4 LBS. PER 100 SQ. FT.

FINAL PLANTING BED LEVEL SHALL BE TWO INCHES HIGHER THAN ADJACENT CONSTRUCTION FEATURES, IE, SIDEWALKS, ETC. OR ADJACENT GRASS. COVER ENTIRE PLANTING BED WITH A TWO INCH BLANKET OF MULCH.

**TREES:**  
 EXCAVATE TREE PITS TWICE AS WIDE AS THE TREE BALL AND SAME DEPTH AS TREE BALL. BACKFILL WITH PLANTING BED SOIL. "ROOT FLARE" SHALL BE EXPOSED AND LEVEL WITH TOP OF FINISHED GRADE. WATER EACH PLANT TO ELIMINATE AIR POCKETS. COVER TOP OF TREE PLANTING AREA WITH A TWO INCH BLANKET OF MULCH.

**SHRUBS:**  
 EXCAVATE SHRUB PITS TWICE AS WIDE AS THE SHRUB BALL AND SAME DEPTH AS SHRUB BALL. BACKFILL WITH PLANTING BED SOIL. "ROOT FLARE" SHALL BE EXPOSED AND LEVEL WITH TOP OF FINISHED GRADE. WATER EACH PLANT TO ELIMINATE AIR POCKETS. COVER ENTIRE SHRUB BED WITH A TWO INCH BLANKET OF MULCH.

**GRASS AREAS:**  
 TOPSOIL FOR LANDSCAPE LAWN AREAS SHALL BE ORGANICALLY ENRICHED TOPSOIL FROM CLEAR FORK MATERIALS.  
 \*OPTION-USE SCREENED TOPSOIL FROM CLEAR FORK MATERIALS.  
 FERTILIZER SHALL BE 12-12-12 WITH IRON AND SULFUR.

THE TOP ONE INCH OF ALL PROPOSED LAWN AREAS SHALL HAVE A ONE INCH BLANKET OF TOPSOIL. BEFORE APPLYING TOPSOIL, ROTOTILL OR DISC SUBGRADE. REPEAT AS NEEDED TO THOROUGHLY LOOSEN SUBGRADE. REMOVE ALL CLODS AND ROCK. RAKE SMOOTH. APPLY TOPSOIL. RAKE SMOOTH. APPLY SOD. ROLL ALL LAWN AREAS TO REMOVE UNDULATIONS AND PROVIDE COMPLETE SOIL CONTACT. ALL LAWN AREAS TO BE SOLID SODDED. APPLY TOPSOIL TO FILL GAPS. APPLY FERTILIZER. WATER THOROUGHLY. FINAL GRASS GRADE SHALL BE LEVEL WITH ADJACENT CONSTRUCTION FEATURES, IE, SIDEWALKS, ETC.

**MAINTENANCE:**  
 THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE INCLUDING: WATERING, MOWING, ETC. UNTIL FINAL ACCEPTANCE BY THE OWNER REPRESENTATIVE.

**GUARANTY:**  
 ALL PLANTS INCLUDING TREES SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE BY THE PROJECT OWNER.  
 REPLACE ALL DEAD PLANTS WITH THE SAME PLANT VARIETY AND SIZE AS SPECIFIED ON THE PLANT LIST.  
 ALL GRASS SOD SHALL BE HEALTHY AND GROWING AT THE END OF SIX WEEKS AFTER SODDING OPERATIONS ARE COMPLETE AND ACCEPTED BY THE PROJECT OWNER. REPLACE ANY AND ALL DEAD OR DAMAGED SOD.

**LEGEND**

- EXISTING TREE (OFF PROPERTY)
- EXISTING PLANT MATERIAL: SHRUBS, GRASS, ETC.
- PROPOSED TREE: LACEBAK ELM (LE)
- PROPOSED SHRUB: RED YUCCA (RY)
- PROPOSED SHRUB: DWARF BURFORD HOLLY (DBH)
- PROPOSED ORNAMENTAL GRASS: GULF MUHLY (GM)
- PROPOSED TURF GRASS: BERMUDA SOD.
- PROPOSED ANNUAL FLOWER
- PROPOSED DECOMPOSED GRANITE, OR OPTIONAL CEDAR MULCH.

**PLANT MATERIAL SCHEDULE**

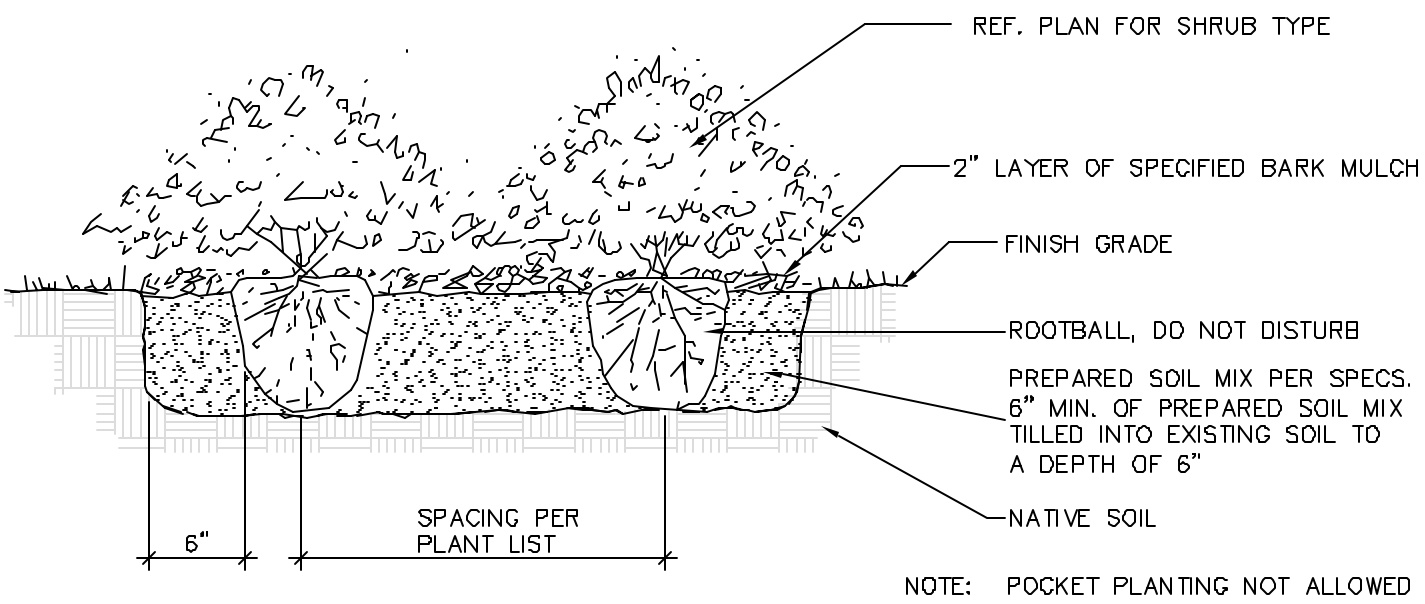
KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
<b>TREES</b>				
LE	5	LACEBAK ELM	Ulmus parvifolia	3" caliper, b&b, 30' o.c.
<b>SHRUBS</b>				
DBH	30	DWARF BURFORD HOLLY	Ilex cornuta var. 'burford nana'	36" tall at planting, container, 36" o.c.
RY	3	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" o.c.
<b>ORNAMENTAL GRASS</b>				
GM	10	GULF MUHLY	Muhlenbergia capillaris	1 gallon, 24" on center.
<b>TURF GRASS</b>				
BERM		BERMUDA GRASS	Cynodon dactylon	solid sod
<b>FLOWERS</b>				
ANN	60	ZINNIA-SPRING	PANSY-FALL	4" pot, 12" o.c.

**LANDSCAPE MAINTENANCE NOTE:**

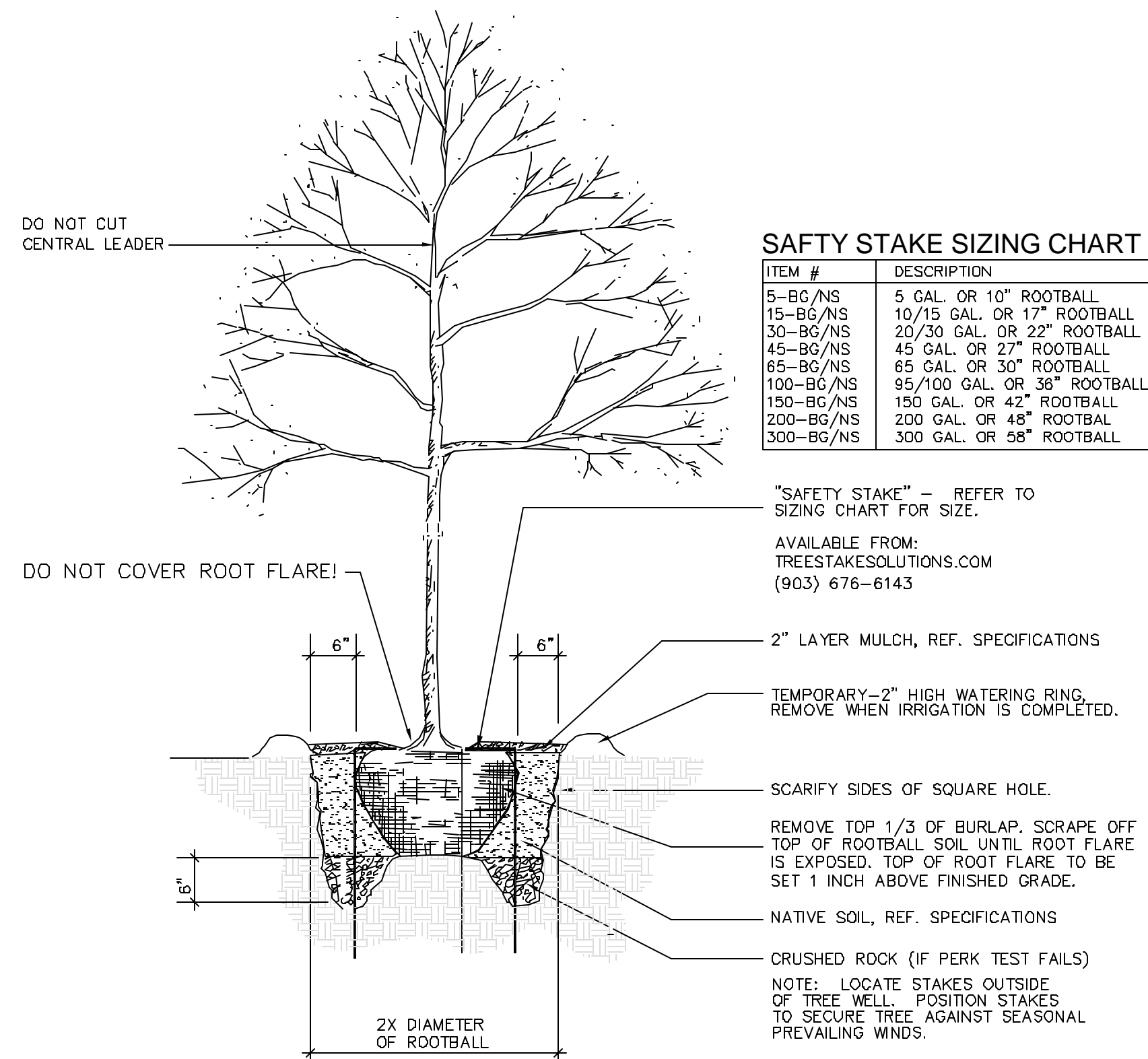
THE PROPERTY OWNER, TENANT, OR AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

**LANDSCAPE NOTES:**

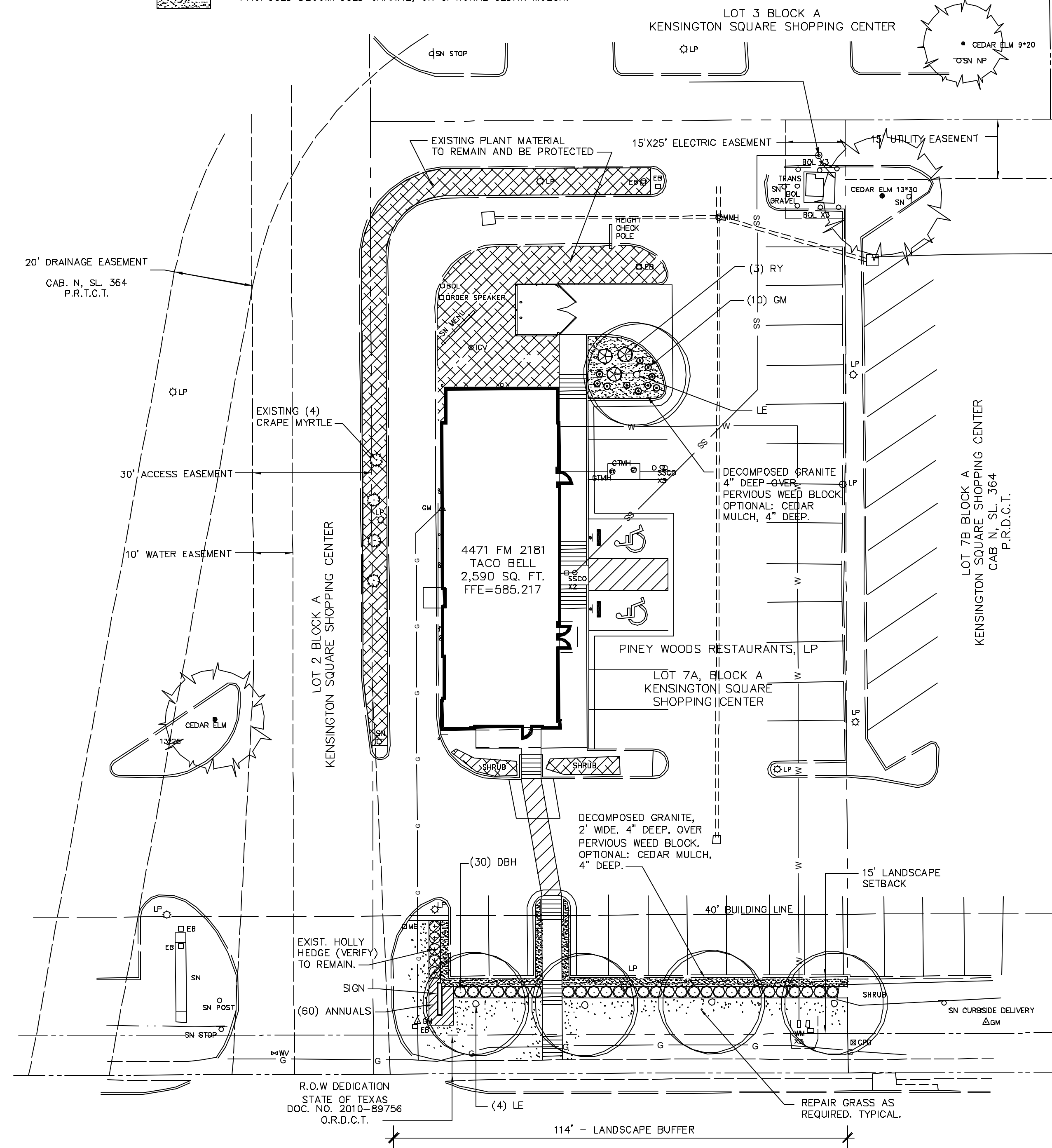
- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR ROOTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FLING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.
- AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED AND FUNCTIONAL PRIOR TO THE APPROVAL OF THE CERTIFICATE OF OCCUPANCY.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIAL.



**3 SHRUB/GROUNDCOVER DETAIL**  
NOT TO SCALE



**2 TREE PLANTING/STAKING DETAIL**  
NOT TO SCALE



**1 LANDSCAPE PLANTING PLAN**  
SCALE: 1"=20'-0"

**Don C. Wheeler**  
 Landscape Architect  
 Planning Irrigation Design  
 Fort Worth, Texas 76147  
 P.O. Box 470865  
 Office 817.385.1405  
 donc@dcwla.com

REVISIONS	DATE	DESCRIPTION

**TACO BELL**  
 4471 FM 2181  
 LOT 7A, BLOCK A  
 KENSINGTON SQUARE SHOPPING CENTER  
 CORINTH, TX 76210  
 CAB N. SL. 364 P.R.D.C.T.

**LANDSCAPE PLAN**

**RESIDENT LANDSCAPE ARCHITECT**  
 DON C. WHEELER  
 STATE OF TEXAS  
 07/18/17  
 ISSUE DATE: 07-18-17  
 D.C.W.L.A. PROJECT NO: 2k17-10  
 SHEET NO: **L1**  
 OF 11 SHEET

**LANDSCAPE CALCULATIONS:**

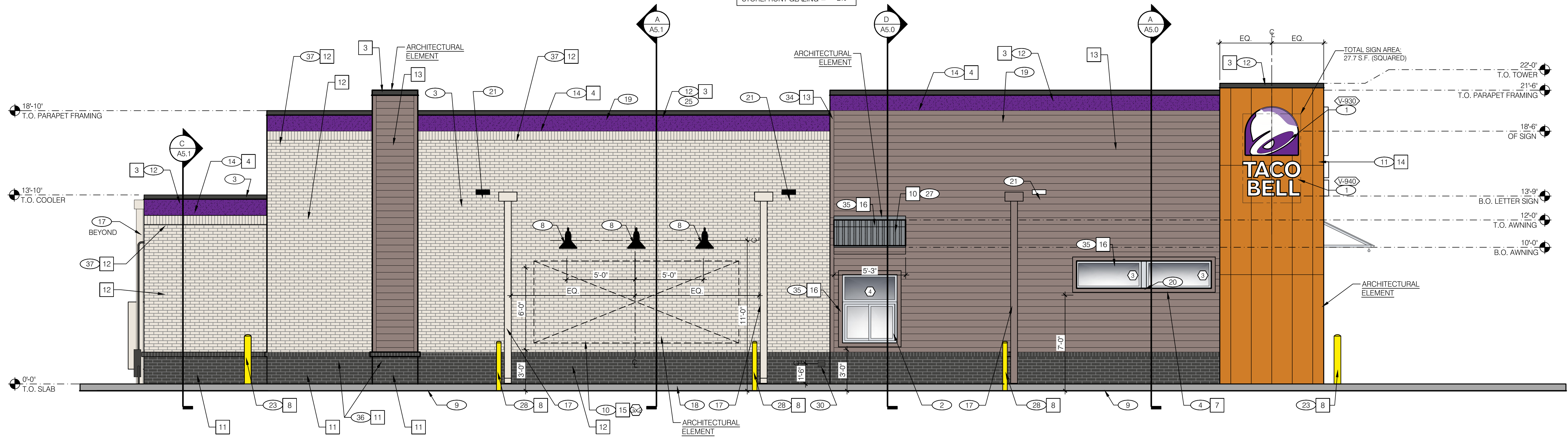
LANDSCAPE SETBACK STANDARDS: 120' LENGTH  
 20' WIDE w/ (1) 3" TREE/30' = (4) TREES REQ'D.  
 15' PROVIDED (DUE TO TxDOT DEDICATION) & (4) TREES.

INTERIOR PARKING LOT LANDSCAPING:  
 10 SF PER PARKING SPACE. 31 SP. = 310 SF REQ'D.  
 450 SF PROVIDED.

SHRUBS PROVIDED FOR HEADLIGHT SCREEN AT STREET R.O.W.  
 PARKING SPACES ARE EXISTING.  
 NO RESIDENTIAL ADJACENCY EXISTS.

WEST ELEVATION

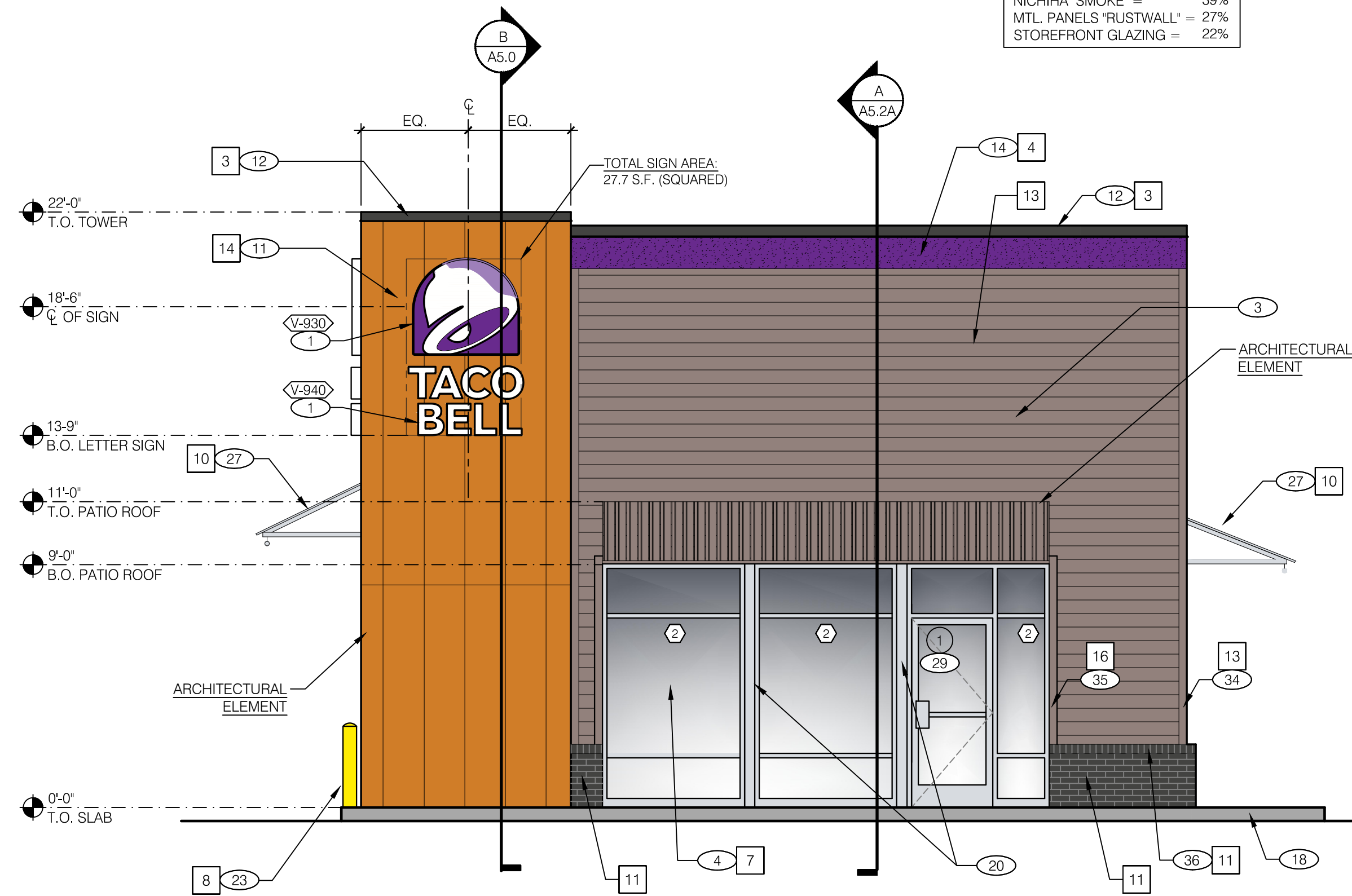
BRICK "IRON ORE" =	10%
BRICK "PACER WHITE" =	40%
STUCCO "DARK PURPLE" =	6%
S. DECK "GALVALUME" =	1%
NICHIHA "SMOKE" =	31%
MTL. PANELS "RUSTWALL" =	10%
STOREFRONT GLAZING =	2%



LEFT SIDE ELEVATION 1/4" = 1'-0" A

SOUTH ELEVATION

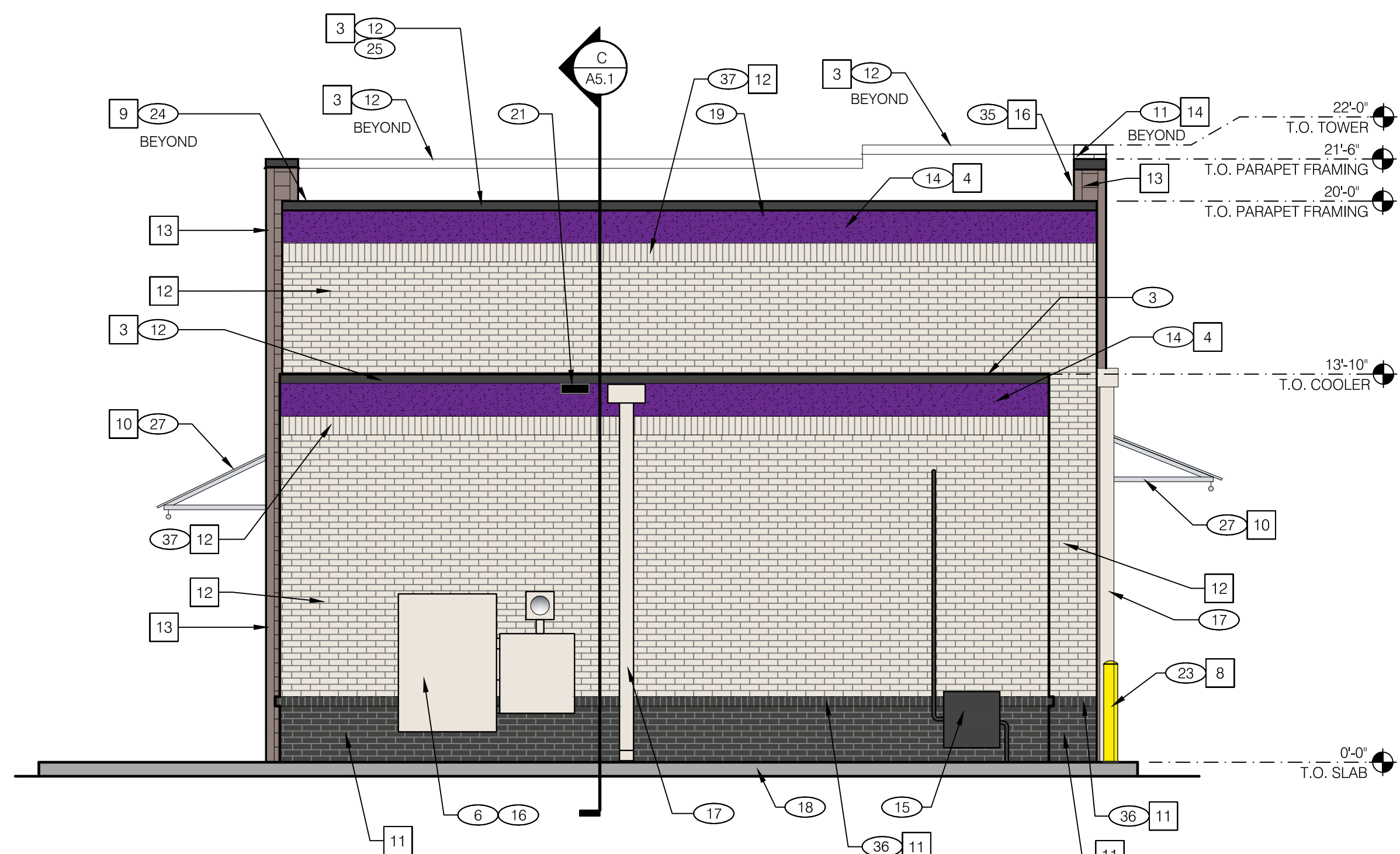
BRICK "IRON ORE" =	2%
STUCCO "DARK PURPLE" =	4%
S. DECK "GALVALUME" =	6%
NICHIHA "SMOKE" =	39%
MTL. PANELS "RUSTWALL" =	27%
STOREFRONT GLAZING =	22%



FRONT ELEVATION 1/4" = 1'-0" C

NORTH ELEVATION

BRICK "IRON ORE" =	11%
BRICK "PACER WHITE" =	72%
STUCCO "DARK PURPLE" =	14%
NICHIHA "SMOKE" =	3%



REAR ELEVATION 1/4" = 1'-0" B

LONGIE SMITH  
ARCHITECT

phone 859.624.3745  
fax 859.624.3745  
519 Hampton Way, Suite 8  
Richmond, KY 40475



- △ 07-18-17 CITY PLANNING REV.
- △
- △
- △
- △
- △
- △
- △
- △
- △

PLAN DATE: 06-01-17  
BUILDING TYPE: EXPLORER LITE LG  
PLAN VERSION: DECEMBER 2016  
JOB NUMBER: 17753

TACO BELL  
4471 FM 2181  
CORINTH, TX 76210

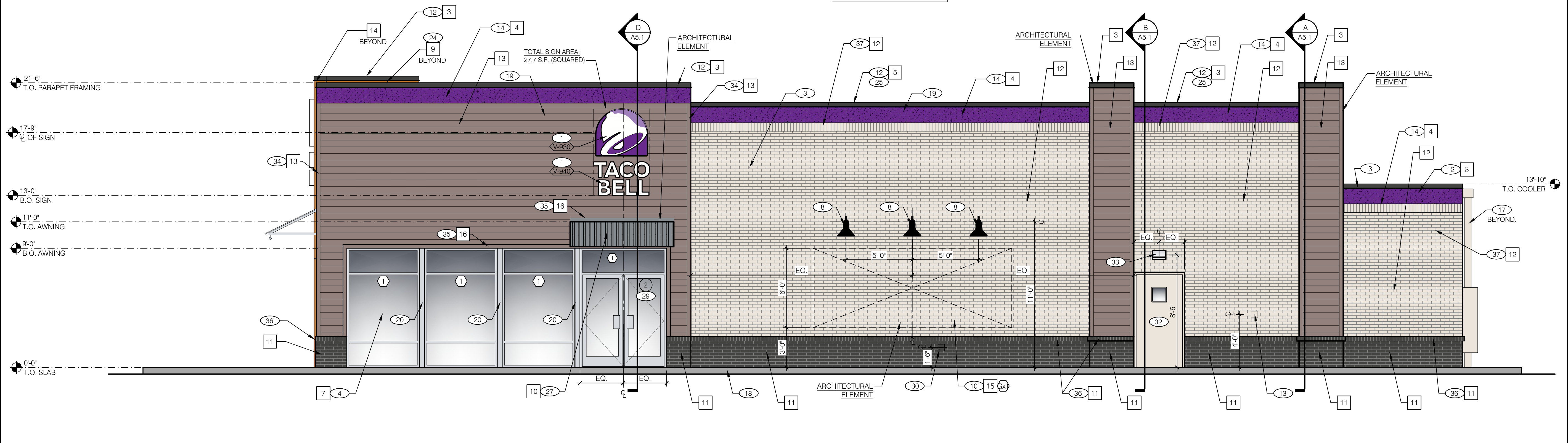


EXTERIOR ELEVATIONS  
**A4.1A**



EAST ELEVATION

BRICK "IRON ORE"	=	8%
BRICK "PACER WHITE"	=	45%
STUCCO "DARK PURPLE"	=	6%
S. DECK "GALVALUME"	=	1%
NICHIHA "SMOKE"	=	27%
STOREFRONT GLAZING	=	13%



RIGHT SIDE ELEVATION 1/4" = 1'-0" A

NOT USED	N.T.S.	I
----------	--------	---

NOT USED	N.T.S.	G
----------	--------	---

MISCELLANEOUS  
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

"CRITICAL" DIMENSIONS:  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

#	QTY	ITEM DESCRIPTION	REMARKS
Gx1	1	EXTERIOR MURAL - TBD	
Gx2	1	EXTERIOR MURAL - TBD	

ARTWORK SCHEDULE N.T.S. E

QTY	ITEM DESCRIPTION	ELEC
V-930	3 TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
V-940	3 TB 14" CHANNEL LETTER WHITE	X

NOTE: SIGNAGE UNDER SEPARATE PERMIT

NOT USED N.T.S. B

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	CANOPY RAFTER/ BEAM PAINT	SHERWIN WILLIAMS	SW3022 "WOODSCAPES BLACK ALDER"			SHERWIN WILLIAMS; BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL)
2	CANOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7062 ROCK BOTTOM			
3	PARAPET CAP	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
4	PAINTED STUCCO	TBD	SHERWIN WILLIAMS TB2603C "DARK PURPLE"			
5	NOT USED					
6	NOT USED					
7	STOREFRONT WINDOWS	TBD	CLEAR ANODIZED			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
10	AWNING	BERRIDGE	S-DECK PREWEATHERED GALVALUME			
11	BRICK	VERIFY W/ OWNER	BRICK TO MATCH SHERWIN WILLIAMS SW 7069 IRON ORE			
12	BRICK	VERIFY W/ OWNER	PAINTED SW 6098 PACER WHITE			
13	FIBER CEMENT PANELS	NICHIHA - ROUGH SAWN	"SMOKE"			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
14	METAL PANELS	WESTERN STATES METAL ROOFING	18" A606-4 RUSTWALL PANELS			WESTERN METAL DECK; RUSTY FAILS - RUSTY@METALDECK.COM - WWW.METALDECK.COM
15	WALL MURAL	THIS STUFF WORKS	TSW8 ACRYLI-MASTER GRAFFITI RESISTANT COATING			
16	FIBER CEMENT BOARD TRIM	JAMES HARDIE	HARDIETRIM - 5/4" X 3 1/2" SMOOTH			

EXTERIOR FINISH SCHEDULE H

- 1 BUILDING SIGN, BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET SS.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 TUBE STEEL POST. SEE STRUCTURAL DWGS.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 CORRUGATED METAL ROOF.
- 8 EXTERIOR LAMP. (CENTER OF BRACKET AT 11'-0" A.F.F.).
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 OPTIONAL - DASHED BOX INDICATES AREA OF PAINTED 15W x 6H WALL MURAL.
- 11 TOWER WITH METAL PANEL FINISH.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 STUCCO. PAINTED.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 CONCRETE CURB.
- 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
- 21 OVERFLOW SCUPPER
- 22 WOOD RAFTERS. SEE STRUCTURAL DWGS.
- 23 BOLLARD
- 24 SINGLE MEMBRANE ROOFING.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 WOOD HEADER BEAM. SEE STRUCTURAL DWGS.
- 27 METAL AWNING - BY OTHERS
- 28 4" Ø BOLLARDS AT ALL DOWNSPOUTS.
- 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
- 31 GUTTER AND DOWNSPOUT, PAINT TO MATCH COLUMN
- 32 PAINT DOOR - SHERWIN WILLIAMS, SW6098 PACER WHITE.
- 33 WALL PACK LIGHT FIXTURE.
- 34 PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
- 35 3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.
- 36 BRICK ROWLOCK.
- 37 BRICK SOLDIER COURSE.

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
NOT USED	N.T.S.					

KEY NOTES D

**LONNIE SMITH**  
 ARCHITECT  
 phone 859.624.3765  
 fax 859.624.3715  
 519 Hampton Way, Suite 8  
 Richmond, KY 40475



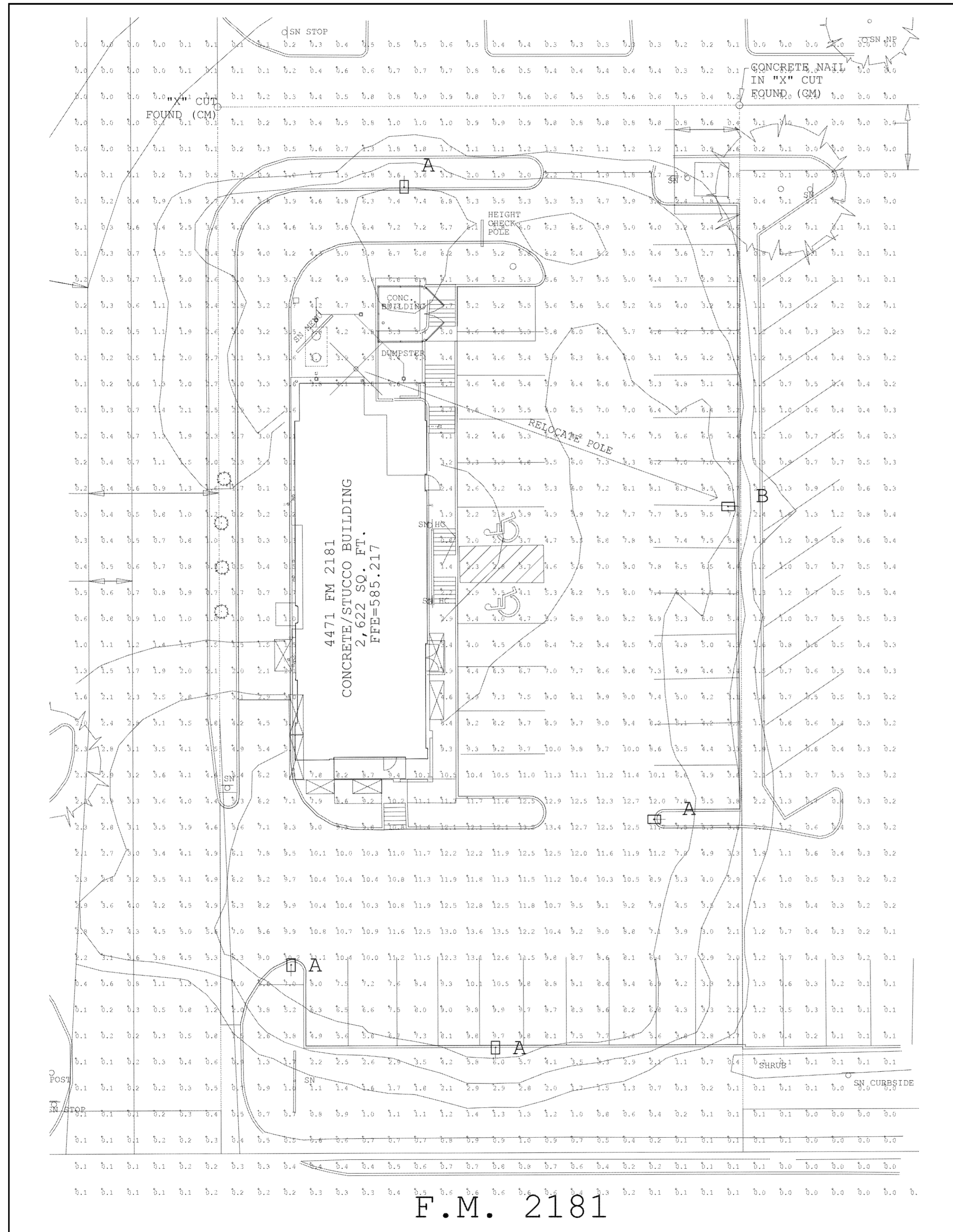
- ▲ 07-18-17 CITY PLANNING REV.
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲

PLAN DATE: 06-01-17  
 BUILDING TYPE: EXPLORER LITE LG  
 PLAN VERSION: DECEMBER 2016  
 JOB NUMBER: 17753

**TACO BELL**  
 4471 FM 2181  
 CORINTH, TX 76210



**EXTERIOR ELEVATIONS**  
**A4.0A**



TACO BELL  
 4471 FM 2181  
 CORINTH, TX  
 PREPARED BY: JOHN BUJAKE  
 ACCUSERV LIGHTING & EQUIPMENT  
 877-707-7378  
 502-961-0357 FAX  
 jbujake@accu-serv.com  
 MAY 15, 2017

Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	3.26	13.6	0.0	N.A.	N.A.
VEHICULAR SURFACE	6.62	13.6	0.1	66.20	136.00

LIGHT LEVELS ARE MAINTAINED FOOT-CANDELS, INITIAL LEVELS ARE SLIGHTLY HIGHER

Symbol	Qty	Label	Arrangement	Lum. Lumens	LF	Lum. Watts	Description
4	A	SINGLE	39921	0.900	395	VFL-96L-195-4K7-4-UNV-A-DBT / EXISTING 25' SQUARE POLE	
1	B	SINGLE	40845	0.900	395	VFL-96L-195-4K7-3-UNV-A-DBT / RELOCATED EXISTING 25' SQUARE POLE	

ALL FIXTURES ARE NEW  
 ALL POLES ARE EXISTING  
 FIXTURES ARE 395W 4000K LED w/ FLAT LENSES  
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.

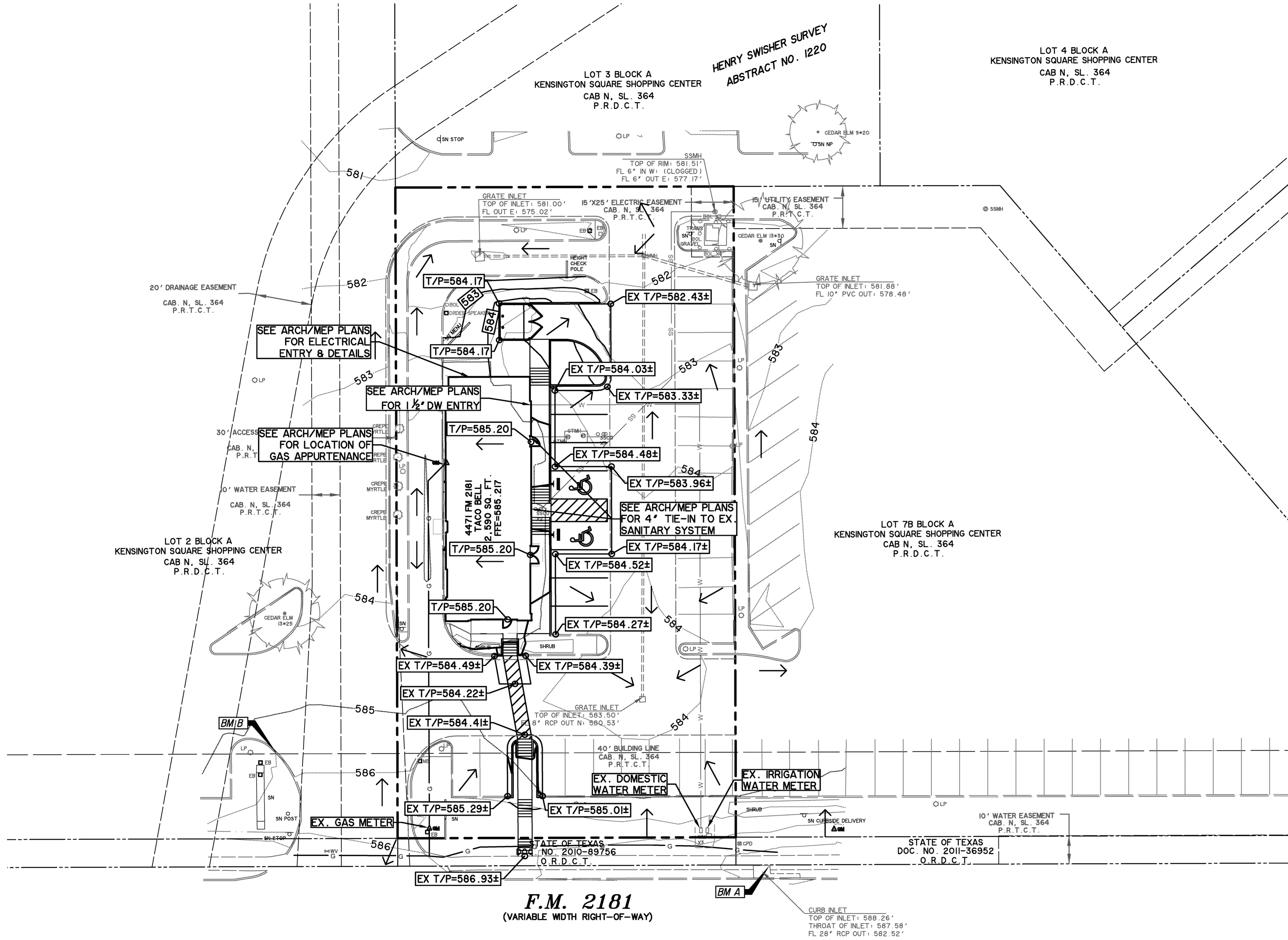
NO.	DATE	DESCRIPTION	BY

TACO BELL (4471 FM 2181)  
 LOT 7A, BLOCK A,  
 KENSINGTON SQUARE  
 SHOPPING ADDITION,  
 HENRY SWISHER SURVEY,  
 ABSTRACT NO. 1220,  
 CORINTH, DENTON COUNTY, TX

PHOTOMETRIC LIGHTING PLAN



PRINTED: 7/18/2017 4:02 PM. FILE: WIER-PAYING.STB. LAST SAVED: 7/18/2017 4:02 PM. FILE: 07 ENGINEERING-AND-GRADING-PLAN-17046.DWG



LEGEND	
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR
	DRAINAGE DIRECTION ARROW

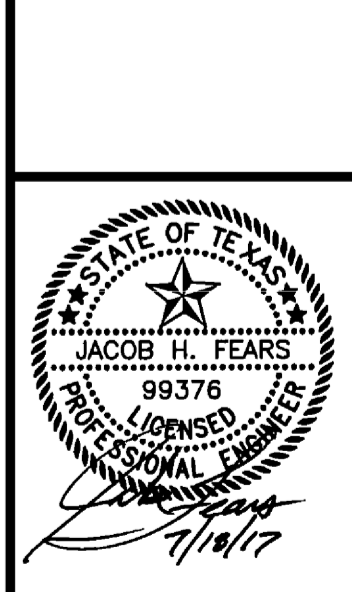
- NOTES:
- EXISTING DEVELOPMENT CURRENTLY FUNCTIONS AS A DRIVE-THRU RESTAURANT.
  - PROPOSED DEVELOPMENT WILL MINIMIZE DEVELOPMENT TO THE EXISTING BUILDING FOOTPRINT W/ SLIGHT MODIFICATIONS TO THE HANDICAPPED PARKING.
  - PROPOSED DEVELOPMENT WILL HONOR THE EXISTING DRAINAGE DIVIDES.
  - NO DRAINAGE IMPROVEMENTS ARE PROPOSED W/ THE NEW DEVELOPMENT.

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

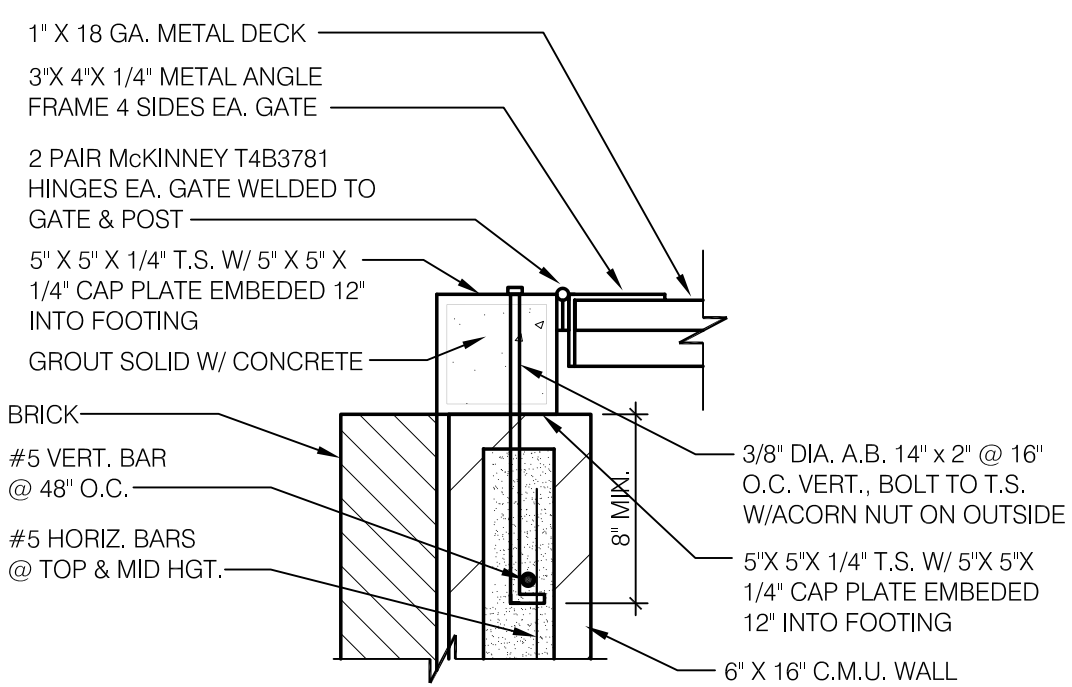
NO.	DATE	DESCRIPTION	BY

TACO BELL (4471 FM 2181)  
 LOT 7A, BLOCK A,  
 KENSINGTON SQUARE  
 SHOPPING ADDITION,  
 HENRY SWISHER SURVEY,  
 ABSTRACT NO. 1220,  
 CORNITH, DENTON COUNTY, TX

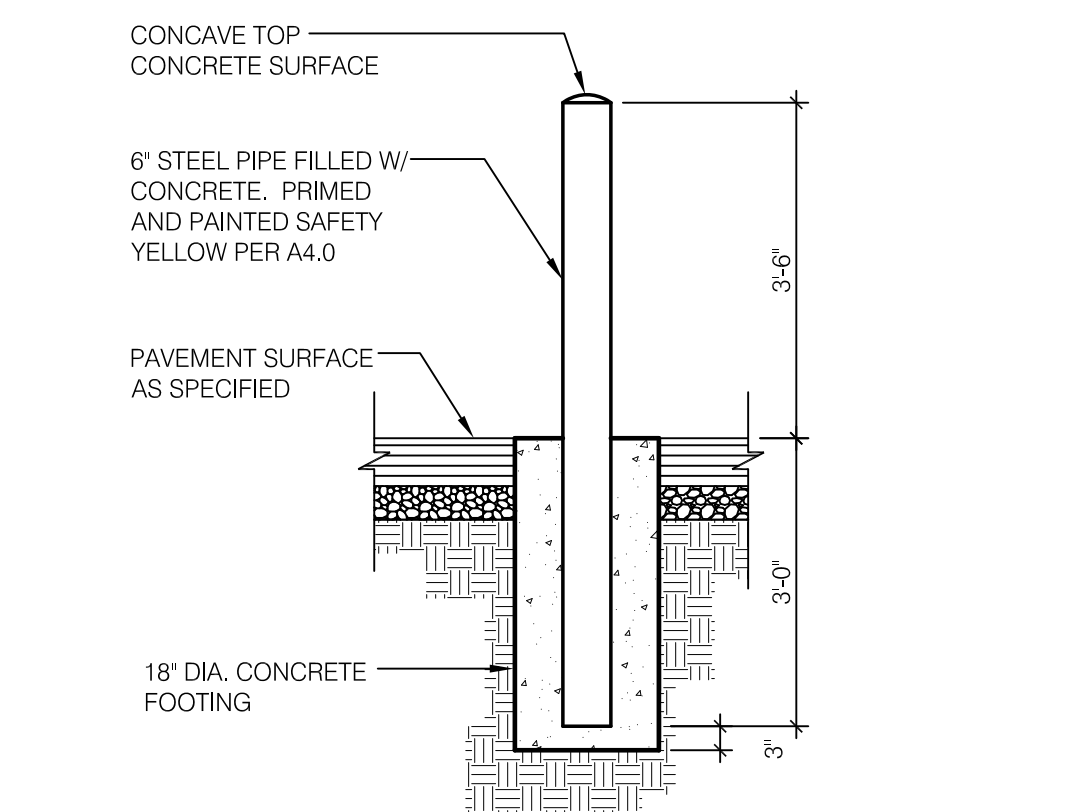
ENGINEERING AND  
 GRADING PLAN



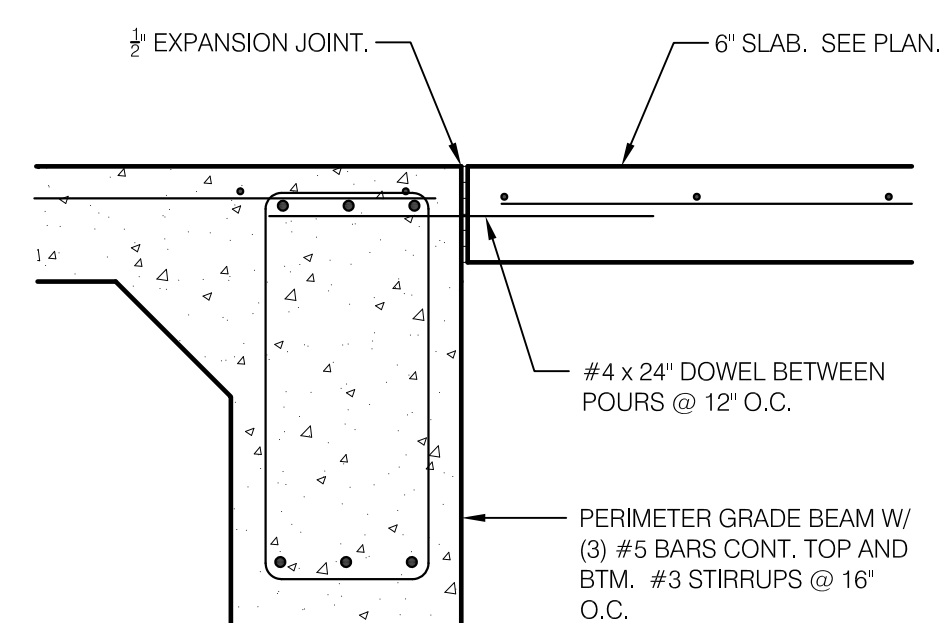
COPYRIGHT ©  
 WIER & ASSOCIATES, INC.  
 LAST SHEET EDIT  
 DATE: 7/18/2017  
 WA# 17046  
 SHEET NO.  
 07



**JAMB DETAIL** 1 1/2' = 1'-0' **7**



**BOLLARD DETAIL** 1/2' = 1'-0' **8**



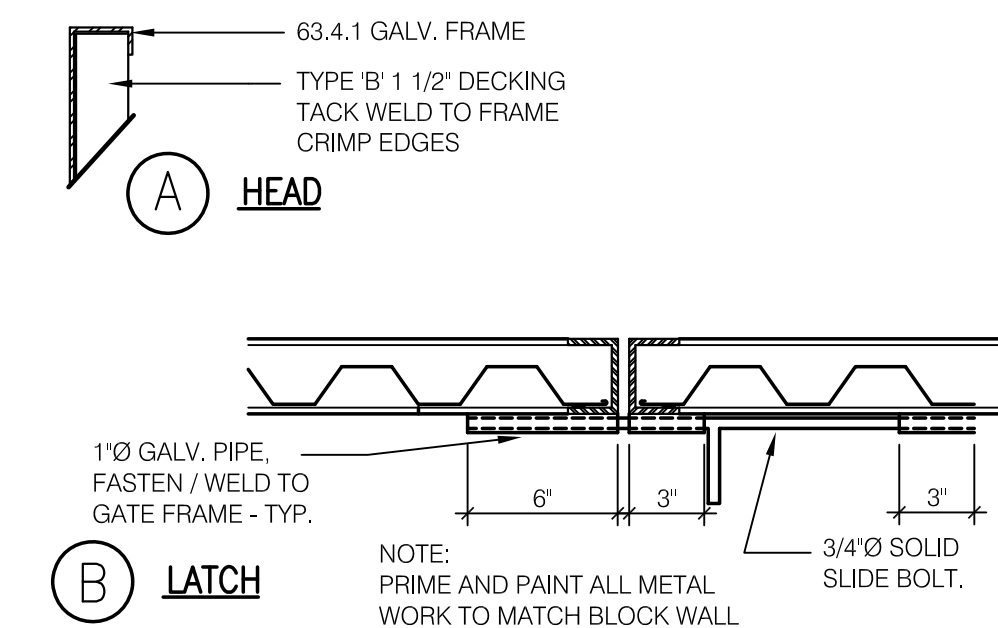
**FOUNDATION DETAIL** N.T.S. **9**



**NOT USED** N.T.S. **10**

**GATE NOTES:**  
 (2) EQUAL (±6'-0") WIDE X 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/T.S.  
 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH. ALL CONNECTIONS,  
 TYP. PRIME AND PAINT COLOR TO MATCH PLASTER.

**GATE HARDWARE:**  
 1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.  
 2. **GATE STOP** - MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE  
 TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.



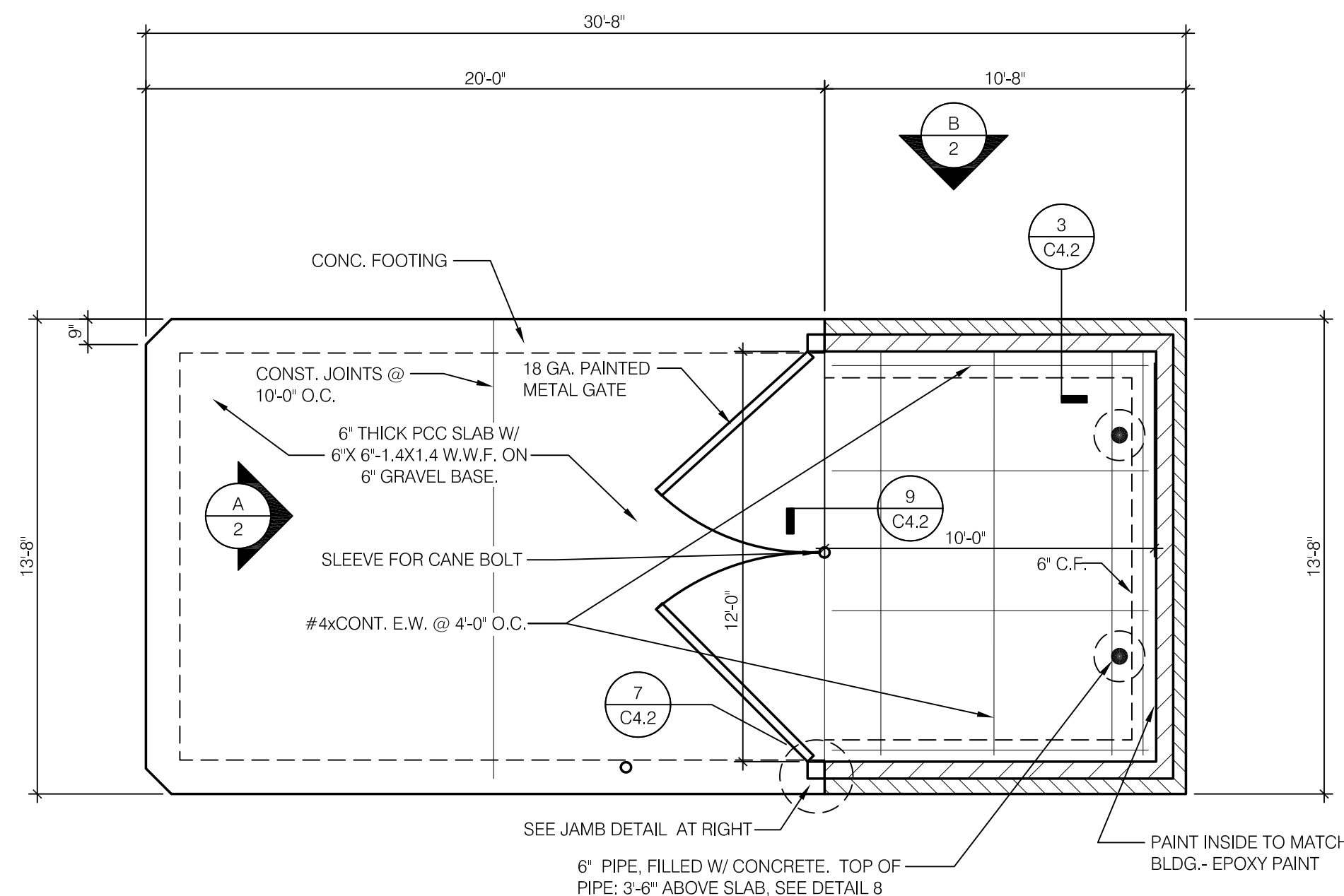
**NOTES:**  
 1. LOCATION SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.  
 2. AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.  
 3. GATES SHALL BE CORRUGATED METAL DOORS AND MUST BE APPROVED BY PUBLIC WORKS  
 DEPARTMENT PRIOR TO INSTALLATION.  
 4. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY  
 THE PUBLIC WORKS DEPARTMENT.  
 5. SEE ATTACHED SPECIFICATIONS, NOTES AND PROCEDURES

**TRASH ENCLOSURE DETAIL MATERIAL SPECIFICATIONS:**  
 1. CONCRETE BLOCK: 6" MINIMUM IN SIZE, ASTM C90.  
 2. REINFORCING STEEL: ASTM 615, GRADE 40.  
 3. ACCEPTABLE SOIL TYPES:  
 A. MIN. ALLOWABLE BEARING: 1000 LBS/SQ. FT  
 B. MIN. LATERAL BEARING: 100 LBS/SQ. FT./FT.  
 C. MAX EXPANSION INDEX: 20  
 4. CONCRETE: 2000 LBS/SQ. IN. IN 28 DAYS.  
 5. MORTAR: 1:1/4:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND, BY VOLUME).  
 MIXED TO PLASTIC CONSISTENCY, REFER TO UBC TABLE 24-A FOR OTHER TYPES OF CEMENT.  
 6. GROUT: 1:1:10:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND BY  
 VOLUME) MIX TO FLOW WITHOUT SEGREGATION. GROUT MAY CONTAIN 2 PARTS PEA GRAVEL  
 (3/8" MAX. SIZE).  
 MINIMUM COMPRESSIVE STRENGTH: 2000 LBS/SQ. IN. REFER TO UBC TABLE 24-B FOR OTHER  
 TYPES OF CEMENT.

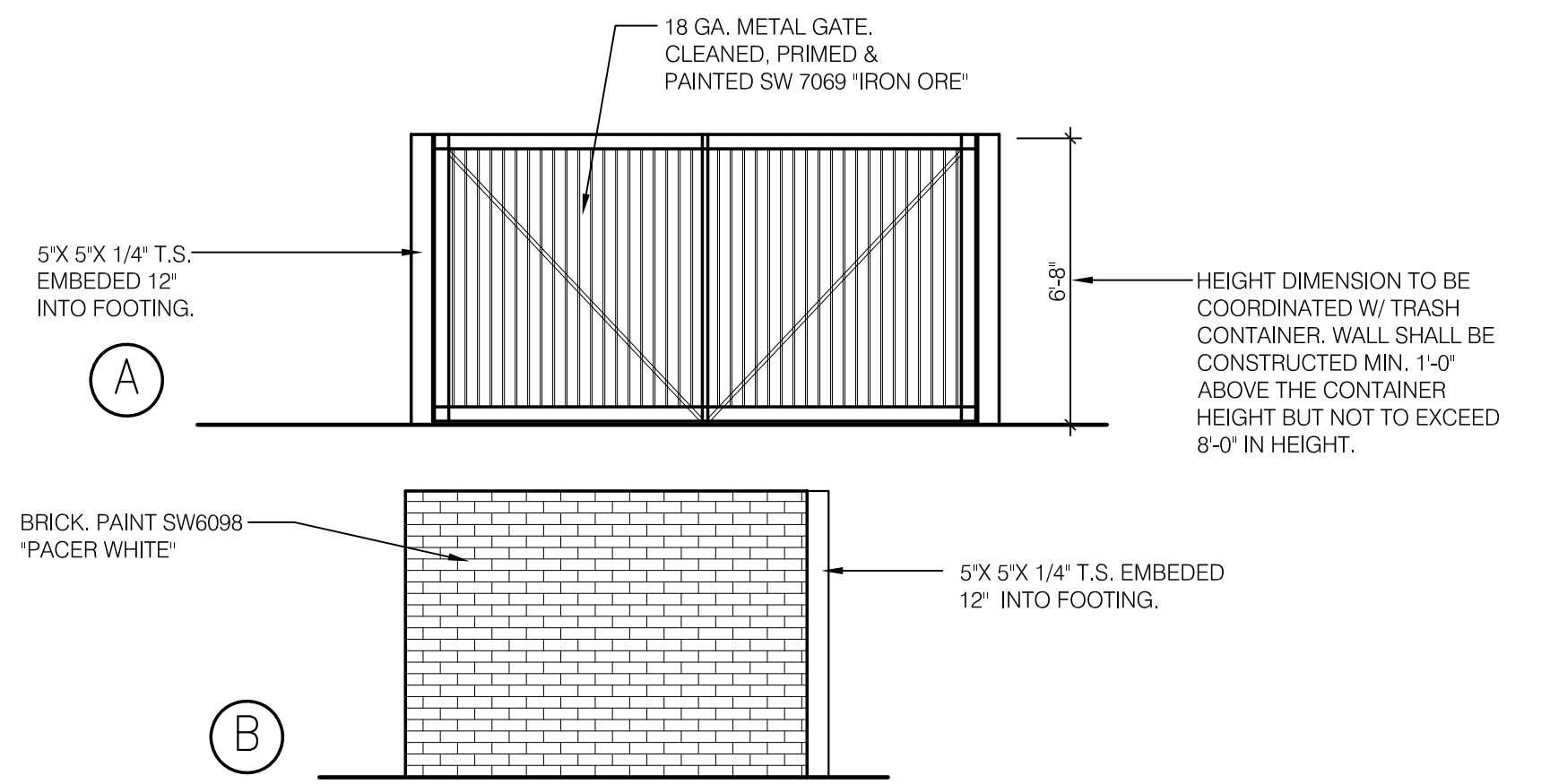
**GENERAL NOTES:**  
 1. THIS DESIGN IS FOR AVERAGE CONDITIONS AND MAY NOT BE SUITABLE FOR ALL CASES. IT  
 IS RECOMMENDED THAT A LICENSED CIVIL OR STRUCTURAL ENGINEER BE CONSULTED.  
 2. FOOTINGS SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.  
 3. BLOCKS TO BE STACKED (RUNNING BOND).  
 4. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED.  
 5. APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY  
 GROUTED WALLS. BAGS, NEWSPAPERS, ETC. ARE NOT APPROVED GROUT STOPS.  
 6. INITIAL BED JOINT SHALL BE 1/4" MIN. 1" MAX. SUBSEQUENT BED JOINTS SHALL BE 1/2" MIN., 3/4"  
 MAX.  
 7. VERTICAL CONTINUITY OF CELLS SHALL BE UNOBSTRUCTED. MORTAR PROJECTIONS SHALL  
 NOT EXCEED 1/2" FOR 6" AND LARGER BLOCK. MORTAR DROPPINGS OR OTHER FOREIGN  
 MATTER ARE NOT PERMITTED IN CELLS AND MUST BE REMOVED.  
 8. EXPANSION JOINTS REQUIRED AT 6'-0" MAX. INTERVALS.  
 9. REQUIRED BAR LAPS:  
 A. VERTICAL STEEL: 30 BAR DIAMETERS.  
 B. HORIZONTAL STEEL: 40 BAR DIAMETERS.  
 C. WIRE JOINT REINFORCEMENT IN THE MORTARED BED JOINT: 75 WIRE DIAMETERS OR IN  
 ALTERNATE BED JOINTS OF RUNNING BOND, 54 DIAMETERS PLUS TWICE THE BED JOINT  
 SPACING.  
 10. WHERE HORIZONTAL WIRE JOINT REINFORCEMENT IS REQUIRED OR UTILIZED, IT SHALL BE  
 EQUIVALENT TO TWO 3/16" DIAMETER BARS CONNECTED AT 16" INTERVALS BY NO. 9 GAUGE  
 WELDED WIRE.  
 11. FOR PIPES AND CONDUIT EMBEDDED IN MASONRY, REFER TO SEC. 24-07(g), UBC.  
 12. 3" MIN. COVER REQUIRED FOR REINFORCEMENT IN CONCRETE WHICH IS CAST AGAINST  
 EARTH.

**INSPECTION PROCEDURES:**  
 1. FOUNDATION: AFTER TRENCHES ARE DUG, STEEL IS TIED IN PLACE AND BEFORE ANY  
 CONCRETE IS POURED.  
 2. PRE-GROUT: AFTER ALL BLOCKS (EXCEPT CAP) ARE IN PLACE, VERTICAL AND HORIZONTAL  
 STEEL IS IN PLACE, GROUT STOPS (FOR PARTIALLY GROUTED MASONRY) ARE IN PLACE, AND  
 PRIOR TO GROUTING.  
 3. FINAL: AFTER GROUT IS IN PLACE AND PRIOR TO PLACEMENT OF CAP.

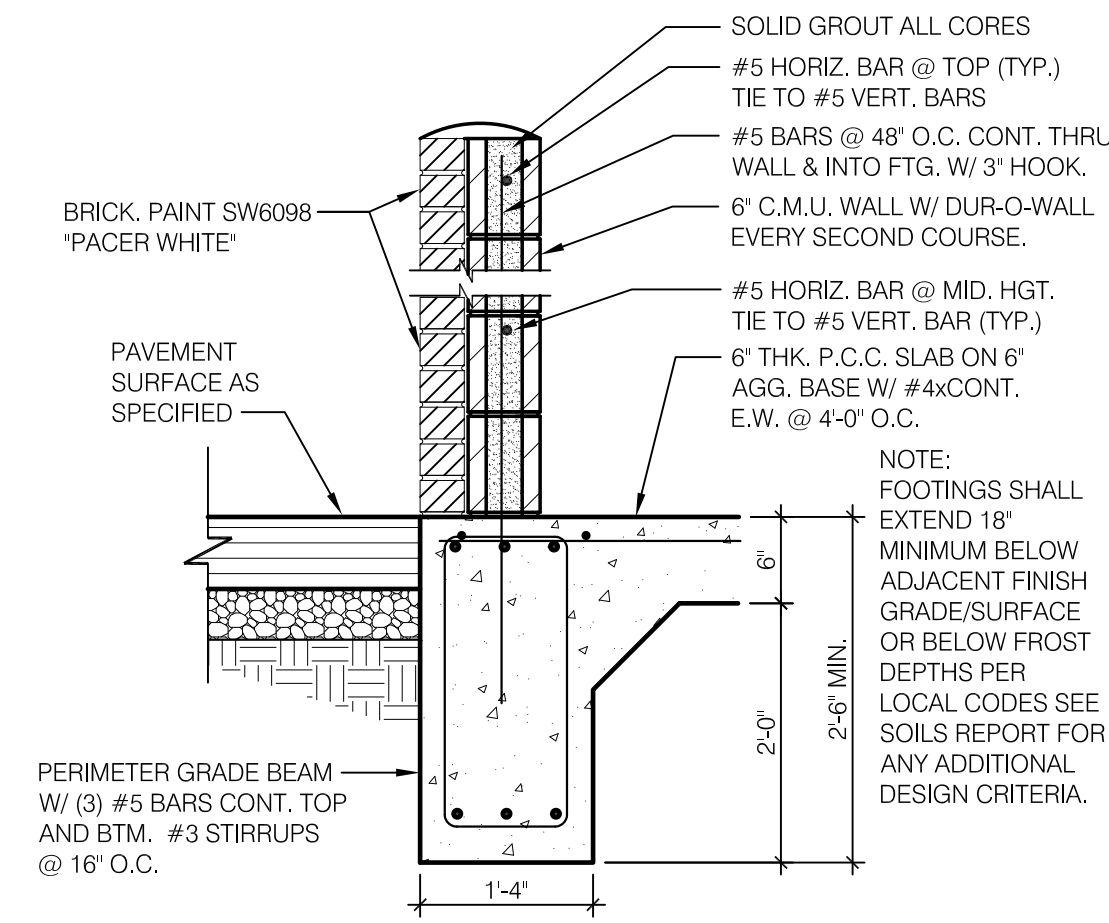
**GATE DETAILS** N.T.S. **6**



**PLAN VIEW** 1/4' = 1'-0' **1**



**ELEVATION** 1/4' = 1'-0' **2**



**SECTION** 3/4' = 1'-0' **3**

**NOT USED** N.T.S. **11**

**NOT USED** N.T.S. **12**

**NOT USED** N.T.S. **13**

**NOT USED** N.T.S. **14**

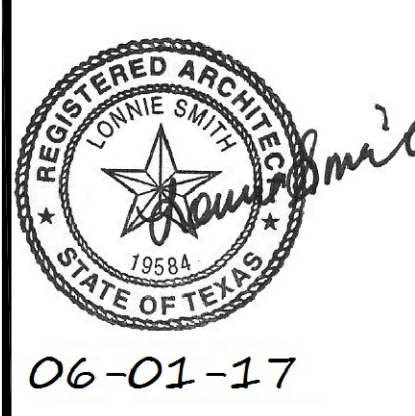
**NOT USED** **5**

**NOT USED** **4**

**LONNIE SMITH**  
 ARCHITECT

phone 859.624.3755  
 fax 859.624.3745

519 Hampton Way, Suite 8  
 Richmond, KY 40475



- ▲ 07-18-17 CITY PLANNING REV.
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲

PLAN DATE: 06-01-17  
 BUILDING TYPE: EXPLORER LITE LG  
 PLAN VERSION: DECEMBER 2016  
 JOB NUMBER: 17753

TACO BELL  
 4471 FM 2181  
 CORINTH, TX 76210



**EXPLOER LITE**  
 LARGE50  
**DUMPSTER**  
**DETAILS**  
**G2.0**



## **RoughSawn Three-Part Specification**

**07 42 43**

**Composite Wall Panels**

### **Part I - General**

#### **1.1 SECTION INCLUDES:**

- A. Exterior, panelized fiber cement cladding system and accessories to complete a drained and back-ventilated rainscreen.
- B. Interior fiber cement panelized cladding system and accessories.

#### **1.2 RELATED SECTIONS**

- A. Section 05 41 00 - Structural Metal Stud Framing
- B. Section 06 10 00 - Rough Carpentry
- C. Section 06 16 00 - Sheathing
- D. Section 07 20 00 - Thermal Protection
- E. Section 07 25 00 - Weather Barriers
- F. Section 07 60 00 - Flashing and Sheet Metal
- G. Section 07 90 00 - Joint Protection

#### **1.3 REFERENCES**

- A. American Architectural Manufacturers Association (AAMA):
  - 1. AAMA 509-09 – Voluntary Test and Classification Method of Drained and Back Ventilated Rain Screen Wall Cladding Systems
- B. ASTM International (ASTM):
  - 1. ASTM C 518 - Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus.
  - 2. ASTM C 1185 - Standard Test Methods for Sampling and Testing Non-Asbestos Fiber Cement.
    - a. ASTM C 1186 – Standard Specification for Flat Fiber-Cement Sheets.
  - 3. ASTM E-84 - Standard Test for Surface Burning Characteristics of Building Materials.
  - 4. ASTM E 119 - Standard Test Methods for Fire Tests of Building Construction and Materials.
  - 5. ASTM E 228 - Standard Test Method for Linear Thermal Expansion of Solid Materials with a Vitreous Silica Dilatometer.



6. ASTM E 330 - Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.
  7. ASTM E 331 - Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.
  8. ASTM G 23 - Standard Practice for Operating Light-Exposure Apparatus (Carbon-Arc Type) with and without Water for Exposure of Nonmetallic Materials, Replaced by G152 and G153.
- C. Florida Building Code - Test Protocol HVHZ
1. Testing Application Standard (TAS) 201, 202, 203 – Impact Test Procedures
- D. National Fire Protection Association (NFPA):
1. NFPA 285 - Fire Test Method for Exterior Wall Assemblies Containing Combustible Material.
  2. NFPA 268 – Ignition Resistance of Exterior Wall Assemblies.
- E. Standards Council of Canada & Underwriters Laboratories Canada (ULC):
1. CAN/ULC S-102 – Standard Method of Test for Surface Burning Characteristics.
  2. CAN/ULC S-134 – Standard Method of Fire Test of Exterior Wall Assembly.

#### **1.4 SUBMITTALS**

- A. Submit under provisions of Section 01 33 00.
- B. Product Data: Submit manufacturer's product description, storage and handling requirements, and installation instructions.
- C. Product Test Reports and Code Compliance: Documents demonstrating product compliance with local building code, such as test reports or Evaluation Reports from qualified, independent testing agencies.
- D. LEED Credits: Provide documentation of LEED Credits for project certification under USGBC LEED 2009 (Version 3.0) or 2012 v.4.
- E. Manufacturer's Details: Submit drawings (.dwg, .rvt, and/or .pdf formats), including plans, sections, showing installation details that demonstrate product dimensions, edge/termination conditions/treatments, compression and control joints, corners, openings, and penetrations.
- F. Samples: Submit samples of each product type proposed for use.

#### **1.5 QUALITY ASSURANCE**

- A. Manufacturer Qualifications:
  1. All fiber cement panels specified in this section must be supplied by a manufacturer with a minimum of 10 years of experience in fabricating and supplying fiber cement cladding systems.

a. Products covered under this section are to be manufactured in an ISO 9001 certified facility.

2. Provide technical and design support as needed regarding installation requirements and warranty compliance provisions.

B. Installer Qualifications: All products listed in this section are to be installed by a single installer trained by manufacturer or representative.

C. Mock-Up Wall: Provide a mock-up wall as evaluation tool for product and installation workmanship.

D. Pre-Installation Meetings: Prior to beginning installation, conduct conference to verify and discuss substrate conditions, manufacturer's installation instructions and warranty requirements, and project requirements.

### **1.6 DELIVERY, STORAGE, AND HANDLING**

A. Panels must be stored flat and kept dry before installation. A waterproof cover over panels and accessories should be used at all times prior to installation.

B. If panels are exposed to water or water vapor prior to installation, allow to completely dry before installing. Failure to do so may result in panel shrinkage at ship lap joints, and such action may void warranty.

C. Panels MUST be carried on edge. Do not carry or lift panels flat. Improper handling may cause cracking or panel damage.

D. Direct contact between the panels and the ground should be avoided at all times. It is necessary to keep panels clean during installation process.

### **1.7 WARRANTY**

A. Provide manufacturer's 15-year warranty against manufactured defects in fiber cement panels. Additional 5-year extension available when refinished in year 14-15.

B. Provide manufacturer's 15-year warranty against manufactured defects in panel finish.

C. Warranty provides for the original purchaser. See warranty for detailed information on terms, conditions and limitations.

## **PART II: PRODUCTS**

### **2.1 MANUFACTURERS**

A. Acceptable Manufacturer: Nichiha Corporation, 18-19 Nishiki 2-chome Naka-ku, Nagoya, Aichi 460-8610, Japan.

B. Acceptable Manufacturer's Representative: Nichiha USA, Inc., 6465 E. Johns Crossing, Suite 250, Johns Creek, GA 30097. Toll free: 1.866.424.4421, Office: 770.805.9466, Fax: 770.805.9467, [www.nichiha.com](http://www.nichiha.com).

1. Basis of Design Product: Nichiha RoughSawn.

- a. Profile colors: Espresso, Smoke, and Tobacco.
- b. Profiles: Sawn wood texture with three grooves - 3/8" wide - running lengthwise, spaced 4-1/8" apart.
- c. Accessory/Component Options:
  - i. Manufactured Corners with 3-1/2" returns for each profile color.
  - ii. Aluminum trim to be painted per finish schedule: Outside corners (Corner Key, Open Outside Corner), vertical joints (H-Mold), terminations (J-Mold)
  - iii. Essential Flashing System: Starter, Compression Joint, Overhang.
- d. Dimensions - AWP-3030: 455mm (17-7/8") (h) x 3,030 mm (119-5/16") (l).
- e. Panel Thickness: 16 mm (5/8").
- f. Weight: 57.32 lbs. per panel.
- g. Coverage: 14.81 sq. ft. per panel.
- h. Factory sealed on six [6] sides.

C. Substitutions: Not permitted.

D. Requests for substitutions will be considered in accordance with provisions of Section 01 60 00.

## 2.2 MATERIALS

- A. Fiber cement panels manufactured from a pressed, stamped, and autoclaved mix of Portland cement, fly ash, silica, recycled rejects, and wood fiber bundles.
- B. Panel surface pre-finished and machine applied.
- C. Panels profiled along 3030mm edges so that the long joints between the installed panels are ship-lapped.
- D. Factory-applied sealant gasket added to top panel edge; all 3030mm edge joints contain a factory sealant.

## 2.3 PERFORMANCE REQUIREMENTS:

- A. Fiber Cement Cladding – Must comply with ASTM C-1186, Type A, Grade II requirements:
  1. Wet Flexural Strength, lower limit: 1015 psi.
  2. Water Tightness: No water droplets observed on any specimen.



3. Freeze-thaw: No damage or defects observed.
  4. Warm Water: No evidence of cracking, delamination, swelling, or other defects observed.
  5. Heat-Rain: No crazing, cracking, or other deleterious effects, surface or joint changes observed in any specimen.
- B. Mean Coefficient of Linear Thermal Expansion (ASTM E-228): Max  $1.0 \times 10^{-5}$  in./in. F.
- C. Surface Burning (CAN-ULC S102/ASTM E-84): Flame Spread: 0, Smoke Developed: 5.
- D. Wind Load (ASTM E-330): Contact manufacturer for ultimate test pressure data corresponding to framing type, dimensions, fastener type, and attachment clips. Project engineer(s) must determine Zone 4 and 5 design pressures based on project specifics.
1. Minimum lateral deflection: L/120.
- E. Water Penetration (ASTM E-331): No water leakage observed into wall cavity.
- F. Weather Resistant (ASTM G-23): No cracking, checking, crazing, erosion, or other detrimental effects observed.
- G. Steady-State Heat Flux and Thermal Transmission Properties Test (ASTM C-518): thermal resistance R Value of 1.23.
- H. Fire Resistant (ASTM E-119): The wall assembly must successfully endure 60-minute fire exposure without developing excessive unexposed surface temperature or allowing flaming on the unexposed side of the assembly.
- I. Ignition Resistance (NFPA 268): No sustained flaming of panels, assembly when subjected to a minimum radiant heat flux of  $12.5 \text{ kW/m}^2 \pm 5\%$  in the presence of a pilot ignition source for a 20-minute period.
- J. Fire Propagation (NFPA 285): Wall assembly of Nichiha AWP, Ultimate Clips and Starter Track, Tyvek Commercial Wrap, 1/2" Densglass Gold Sheathing, 16" o.c. 18 gauge steel studs, mineral wool in-cavity insulation, and interior 5/8" Type X gypsum met the acceptance criteria of NFPA 285.
- K. Fire Propagation (CAN/ULC S-134): Wall assembly of Nichiha AWP, Ultimate Clips and Starter Track, Tyvek Housewrap, 5/8" FRT plywood, 16" o.c. 2x wood studs, fiberglass in-cavity insulation, and interior 5/8" Type X gypsum met the acceptance criteria of CAN/ULC S-134.
- L. Drained and Back Ventilated Rainscreen (AAMA 509-09): System must pass all component tests.
- M. Florida Building Code - Test Protocol HVHZ (TAS 201, 202, 203): Passed.

## 2.4 INSTALLATION COMPONENTS

### A. Ultimate Clip System:

1. Starter Track:
  - a. Horizontal Panel Installations - FA 700 – 3,030mm (l) galvalume coated steel.
  - b. Vertical Panel Installations (AWP-3030 only) – FA 710T – 3,030mm (l) galvalume coated steel.
2. Panel Clips: JEL 777 “Ultimate Clip” (10mm rainscreen for 16mm AWP) – Zinc-Aluminum-Magnesium alloy coated steel.
  - a. Joint Tab Attachments (included) – used at all AWP-1818 panel to panel vertical joints – NOT used with AWP-3030 installations.
3. Single Flange Sealant Backer – FHK 1017 (10mm) – 6.5’ (l) fluorine coated galvalume.
4. Double Flange Sealant Backer – FH 1020 (10mm) – 10’ (l) fluorine coated galvalume.
5. Corrugated Spacer – FS 1005 (5mm), FS 1010 (10mm) – 4’ (l).
6. Finish Clip (optional) – JE310 (5mm)

### B. Aluminum Trim (optional): Paint as specified in finish schedule.

### C. Essential Flashing System (optional):

1. Starter – main segments (3,030mm), inside corners, outside corners
2. Compression Joint – main segments (3,030mm)
3. Overhang – main segments (3,030mm), inside corners, outside corners, joint clips

### D. Fasteners: Corrosion resistant fasteners, such as hot-dipped galvanized screws appropriate to local building codes and practices must be used. Use Stainless Steel fasteners in high humidity and high-moisture regions. Panel manufacturer is not liable for corrosion resistance of fasteners. Do not use aluminum fasteners, staples or fasteners that are not rated or designed for intended use. See manufacturer’s instructions for appropriate fasteners for construction method used.

### E. Flashing: Flash all areas specified in manufacturer’s instructions. Do not use raw aluminum flashing. Flashing must be galvanized, anodized, or PVC coated.

### F. Sealant: Sealant shall comply with ASTM C920, Class 35.

## PART III: EXECUTION

### 3.1 EXAMINATION

#### A. Verification of Conditions:

1. Fiber cement panels can be installed over braced wood, steel studs and sheathing including plywood, OSB, plastic foam or fiberboard sheathing. Fiber cement panels can also be installed over Structural Insulated Panels (SIP's), Concrete Masonry Units (CMU's) and Concrete Block Structures (CBS's) with furring strips, and Pre-Engineered Metal Construction. Insulated Concrete Forms (ICFs) are **NOT** an approved substrate under any condition.
2. Allowable stud spacing: 16" o.c. maximum.
3. A weather resistive barrier is required when installing fiber cement panels. Use an approved weather resistive barrier (WRB) as defined by the 2015 IBC or IRC. Refer to local building codes.
4. Appropriate metal flashing should be used to prevent moisture penetration around all doors, windows, wall bottoms, material transitions and penetrations. Refer to local building codes for best practices.

B. Examine site to ensure substrate conditions are within alignment tolerances for proper installation.

C. Do not begin installation until unacceptable conditions have been corrected.

D. Do not install panels or components that appear to be damaged or defective. Do not install wet panels.

### 3.2 TOLERANCE

A. Wall surface plane must be plumb and level within +/- ¼ inch in 20 feet in any direction.

1. One layer of Nichiha 5mm (~3/16") Spacer may be used as shim.

### 3.3 INSTALLATION

A. General: Install products in accordance with the latest installation guidelines of the manufacturer and all applicable building codes and other laws, rules, regulations and ordinances. Review all manufacturer installation, maintenance instructions, and other applicable documents before installation.

1. Consult with your local dealer or Nichiha Technical Department before installing any Nichiha fiber cement product on a building higher than 45 feet or three stories or for conditions not matching prescribed standard installation guide requirements and

methods. Special installation conditions may be required via a **Technical Review and Special Applications Form (SAF)** process.

2. **Vertical Control/Expansion Joints** are required within 2-10 feet of outside corners finished with metal trim *and* approximately every 30 feet thereafter.

3. **Horizontal/Compression Joints** are required for multi-story installations of AWP. Locate joints at floor lines. Joints are flashed minimum ½” breaks. Do not caulk. Refer to installation guide(s).

A. Wood framed buildings of three or more floors require a compression joint at each floor.

B. Steel framed buildings (including reinforced concrete core with LGMF exterior walls) of more than three floors (or 45 feet) require a compression joint every 25 feet at a floor line.

#### B. Panel Cutting

1. Always cut fiber cement panels outside or in a well ventilated area. Do not cut the products in an enclosed area.

2. Always wear safety glasses and NIOSH/OSHA approved respirator whenever cutting, drilling, sawing, sanding or abrading the products. Refer to manufacturer SDS for more information.

3. Use a dust-reducing circular saw with a diamond-tipped or carbide-tipped blade.

a. Recommended circular saw: Makita 7-1/4” Circular Saw with Dust Collector (#5057KB).

b. Recommended blade: Tenryu Board-Pro Plus PCD Blade (#BP-18505).

c. Shears (electric or pneumatic) or jig saw can be used for complicated cuttings, such as service openings, curves, radii and scrollwork.

4. **Silica Dust Warning:** Fiber cement products may contain some amounts of crystalline silica, a naturally occurring, potentially hazardous mineral when airborne in dust form. Consult product SDS or visit

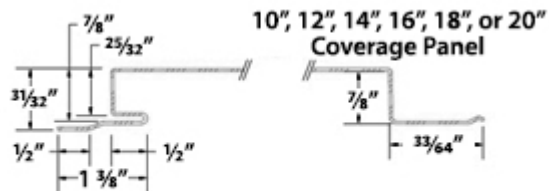
<https://www.osha.gov/dsg/topics/silicacrystalline/>.

### 3.4 CLEANING AND MAINTENANCE

A. Review manufacturer guidelines for detailed care instructions.

# RustWall® Panel

*Material does not arrive pre-rusted. Panel will rust naturally with exposure to the weather.*



18 inch wide is the most economical width. Other standard widths are 10", 14", 16", 18", 20". Custom widths can be ordered up to 20 inches wide.

Available in A606 Finish ( aka Corten ) or Bare Cold Rolled Steel. Custom Sheet Lengths are No Problem. Small and Large Orders at Great Pricing.

Corten flush wall panels can be shipped anywhere in the U.S. or Canada.

## Features

- 22 Gauge Minimum
- Concealed fastener system for wall, soffit, fascia, or linear applications.
- Custom Widths Available 10" to 26" Wide
- A606 ( AKA Corten ) has superior corrosion resistance over bare cold rolled steel.
- Matching trim and flat stock available for RustWall®.
- Painted screws in a Koko Brown finish are available to match.

### **Recommendations and Cautions**

- A606-4 and Bare Steel performs best in environments with low humidity
- Applied over a solid substrate
- Load calculations and load tables DO NOT APPLY TO ANY A606 OR BARE STEEL PRODUCT.
- A606-4 should not be used with dissimilar metals other than stainless steel. This will decrease the lifespan of the product. Screws to be Stainless Steel/Painted Brown Head.
- Roofing Underlayment Should be a HIGH TEMPERATURE UNDERLAYMENT.
- Not recommended near salt spray environments and frequent rain locations as it will shorten the life expectancy of the products.
- Acid washing will degrade steel performance.
- Rust runoff will likely stain the surrounding surfaces.

**NO WARRANTIES FOR THESE PRODUCTS**